

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 25AIN EBRILL, 2024

Gweler yn amgaaedig, yr atodiadau a chynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda** **Eitem**

3. **PENDERFYNU AR GEISIADAU CYNLLUNIO (Tudalennau 3 - 124)**

Yn gywir,

Wendy Walters

Prif Weithredwr

Amg.

Wendy Walters

Prif Weithredwr, Neuadd y Sir,
Caerfyrddin, Sir Gaerfyrddin SA31 1JP
Chief Executive, County Hall,
Carmarthen, Carmarthenshire SA31 1JP



BUDDSODDWR | INVESTORS
MEWN POBL | IN PEOPLE

Mae croeso i chi gysylltu â mi yn y Gymraeg neu'r Saesneg

You are welcome to contact me in Welsh or English

**Cyngor Sir Caerfyrddin
Carmarthenshire County Council**

**ATODIAD
ADDENDUM**

**Adroddiad Pennaeth Lle a
Chynaliadwyedd
Lle a Seilwaith**

**Report of the Head of Place
and Sustainability
Place and Infrastructure**

25/04/2024

**I'W BENDERFYNU
FOR DECISION**

Application No	PL/05597
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Proposal	Erection of a freestanding drive thru/restaurant, car parking, landscaping and associated works, including Customer Order Displays (COD), Play Frame and minor works to Tesco car park, including relocation of trolley bay and white line changes
Location	Tesco Car Park, Ffordd William Walker, Ammanford, SA18 2LR

Details

Coal Authority - Have been reconsulted with updated information and advise that the information is sufficient for the purposes of the planning system in demonstrating (based on the professional opinion of Hydrock Consultants Limited) that the application site is safe and stable for the proposed development. The Coal Authority withdraws its objection to the proposed development.

Public Representations - One additional letter of support has been received.

The recommendation remains the same.

Application No	PL/06623
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Proposal	Cessation of all use as a public house and the consolidation of the current residential component into 2 no. self contained 2 bed houses
Location	Angel Inn, Salem, Llandeilo, SA19 7LY

Details

Neighbours - 2 further letters of objection have been received from local residents and members of Salem Gar Ltd(SG).

The issues raised refer to the loss of privacy as a result of the proposed development and the loss of the public house upon the village amenity. It is also conveyed that the proposal does not adhere to policy RT8 of the LDP in that there has been insufficient marketing of the premises for sale and the representations received from SG shows there is a viable option of the public house as a community hub, and it is also raised that the Community Hall is not considered as a suitable alternative to the public house. It is relayed that Llandeilo as a service centre to the rural community outside of the village of Salem is less relevant and Salem is 3 miles from the town. It is also promoted that Salem needs more affordable housing rather than the market housing proposed and the proposal will result in land around the site being open for similar development.

It is conveyed that there is a reasonable prospect that SG can achieve its aims to purchase the public house and running a sustainable community hub serving Salem and community area, although the Carmarthenshire funding application was unsuccessful, through further support in funding applications and fundraising platforms, it is considered that SG can be successful.

The applicant has responded to the aforementioned submission and has conveyed that the objections raise issues that have been covered by previous objectors and disagrees with the loss of privacy concerns and loss of amenity concern. The Planning Committee report is considered to cover the planning policy and marketing consideration and conveys that the lack of viability is the reason for the demise in the business, and contests that the community hall is not a vibrant hub of activity for the village and community. It is viewed that Llandeilo is not distant from Salem and it serves as the social centre for the community area. A proposal for the adjoining land to the PH will be subject to a further planning application.

The applicant conveyed that in terms of SGs plans for the PH, it is reiterated that the funding application has failed to date and there is little details and scope of raising financial support to fund the purchase of the PH, and no solid details of timescale have been forthcoming to give credibility to the proposal.

The applicant has also provided a letter from a former manager of the public house which conveys the difficulty of viably running the public house at this location after a period of closure. Whilst the public house was initially busy following re-opening, this tailed off with

the public house only being relatively busy on a weekend despite best attempts to undertake events and activities to boost trade. The former manager comments that the majority of customers were from outside the village with small numbers from the village itself. The level of trade was not sufficient to sustain the public house and the manager decided to leave.

Y Pwyllgor Cynllunio / Planning Committee

25/04/2024

**Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio
Place and Sustainability - Planning Services**

Lle a Seilwaith | Place and Infrastructure

Tudalen 7

Cyngor **Sir Gâr**
Carmarthenshire
County Council



**Ceisiadau yr argymhellir
eu bod yn cael eu
cymeradwyo**

**Applications
recommended for
approval**

PL/05597

Andrew Francis

Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio
Place and Sustainability - Planning Services

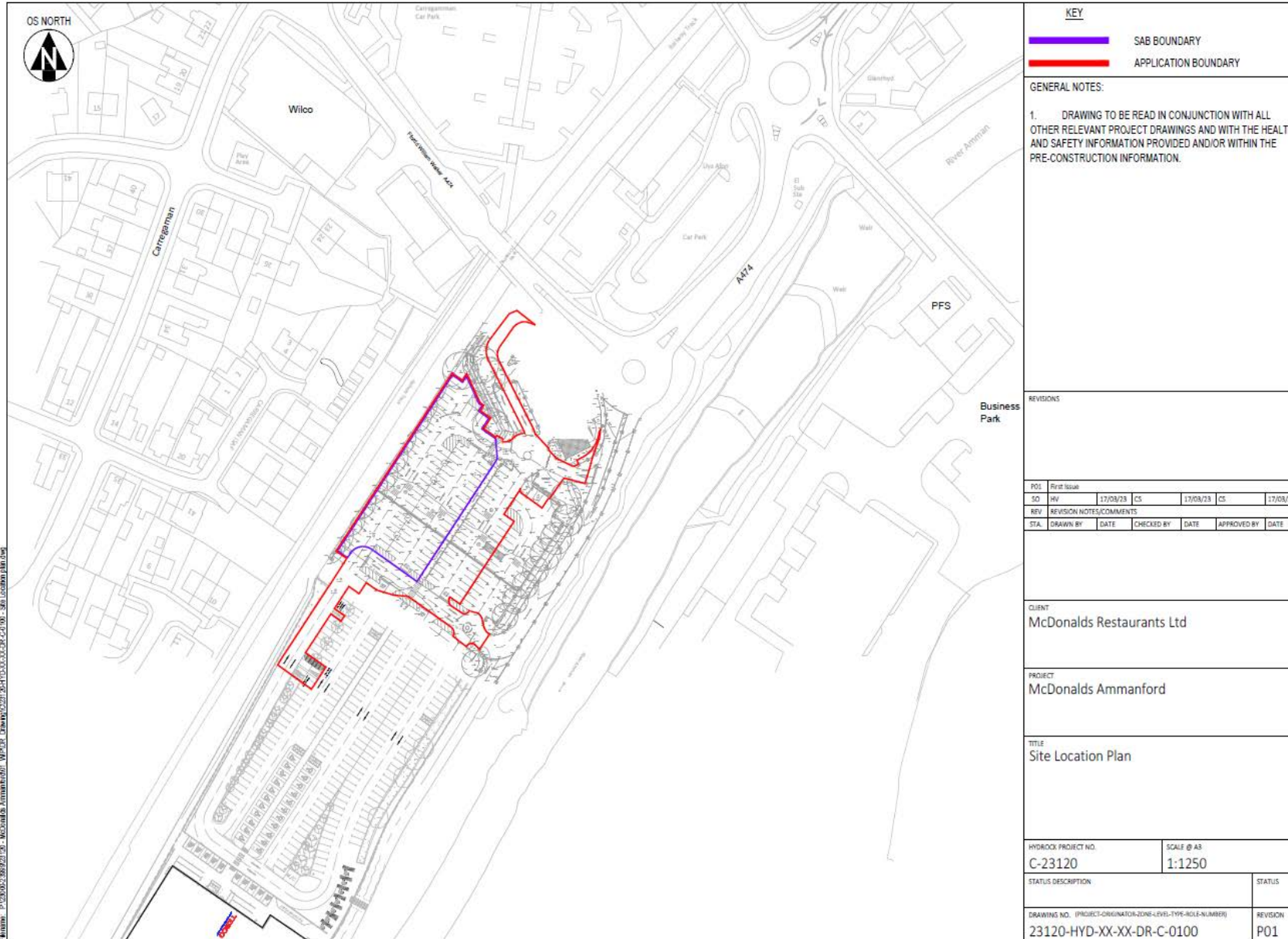
Lle a Seilwaith | Place and Infrastructure

Tudalen 9

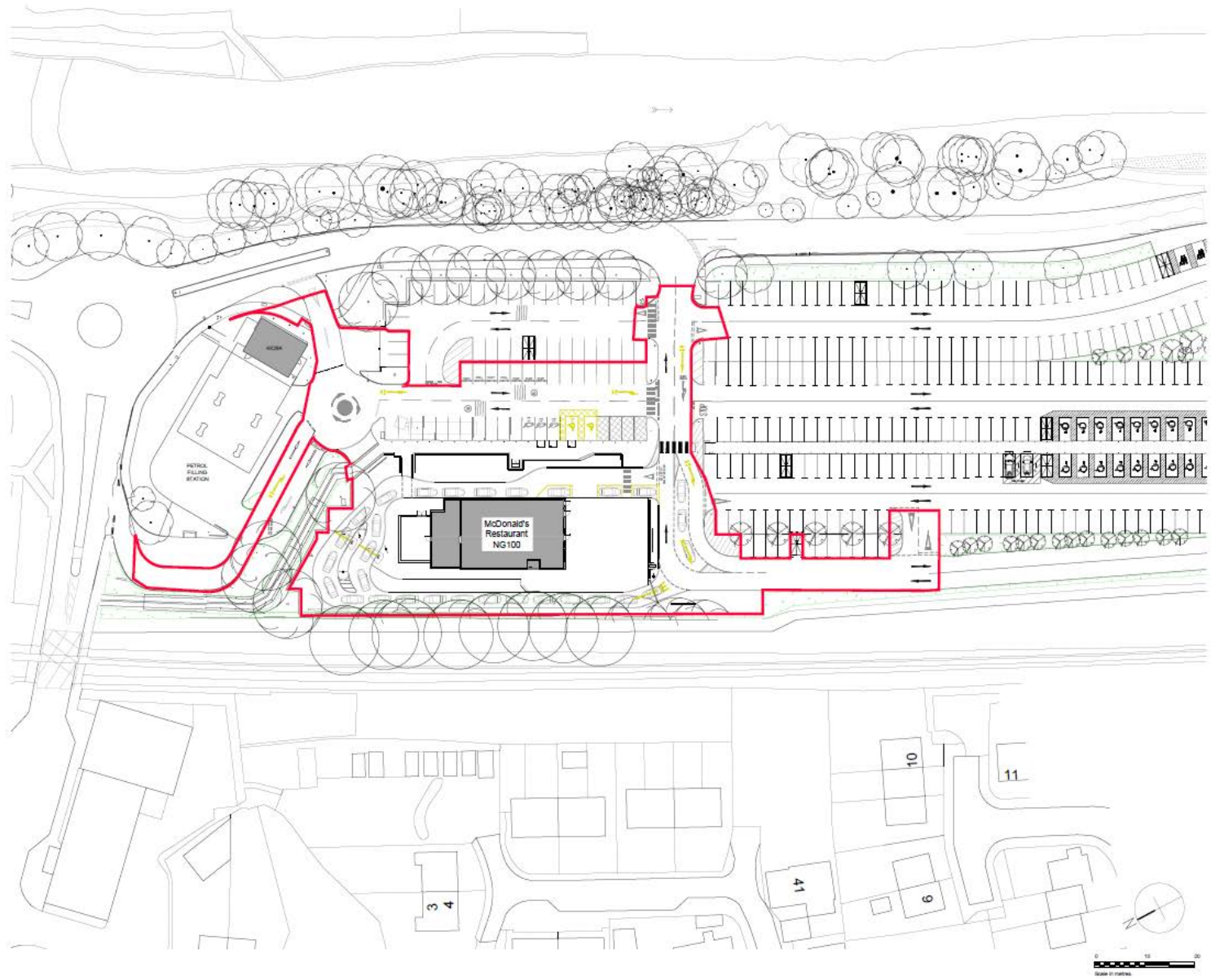
Cyngor **Sir Gâr**
Carmarthenshire
County Council



PL/05597 – 1:1250 Location Plan



PL/05597 – Block Plan



Notes:
All drawings to be read in conjunction with all other drawings as noted on issue sheet.

Application Boundary

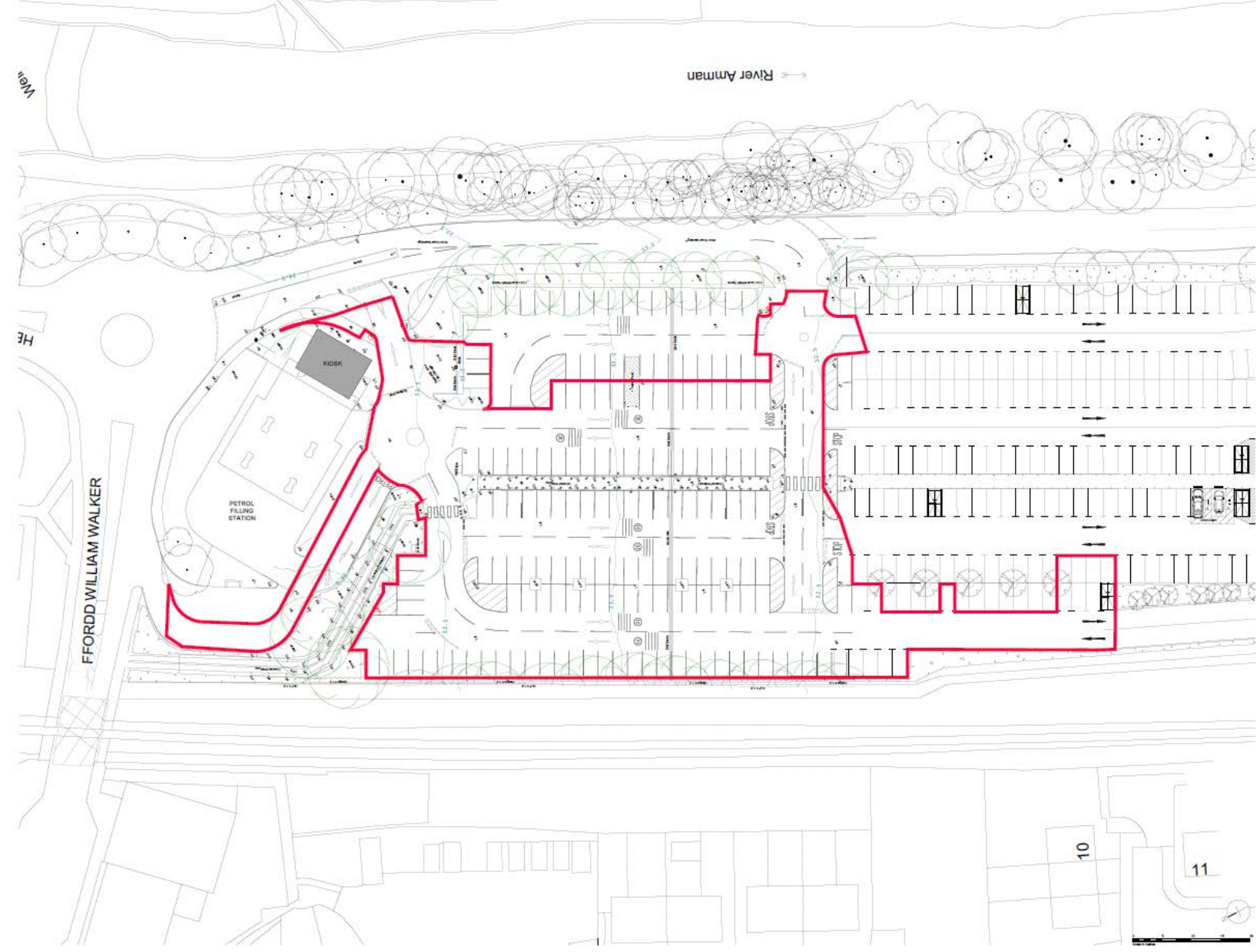
NG100 AREAS SCHEDULE	
TYPE	m ²
SEA	277.3
RENTABLE	329.3
FOOTPRINT	277.3

P	13.11.20	Updated to latest Site Layout Plan	DM
P	07.11.20	Updated to latest Site Layout Plan	DM
D	20.02.20	Updated to latest Site Layout Plan	DM
C	08.12.20	Application Boundary revised	DM
B	05.12.20	Updated to latest FPA comments and all other comments & other work completed to date. Application boundary revised.	DM
A	29.08.20	Updated to latest FPA comments & all other comments. Application boundary updated to include impervious area within.	DM
M	16.08.20	DM	DM

Scale: 1:1000
Date: 14.08.2024
Author: SA 10.2.0
McDonald's Restaurants Ltd
Architect: [Logo]
Scale: 1:1000
Date: 14.08.2024
Author: SA 10.2.0
McDonald's Restaurants Ltd
Architect: [Logo]

Tudalen 14

PL/05597 – Existing Site Layout

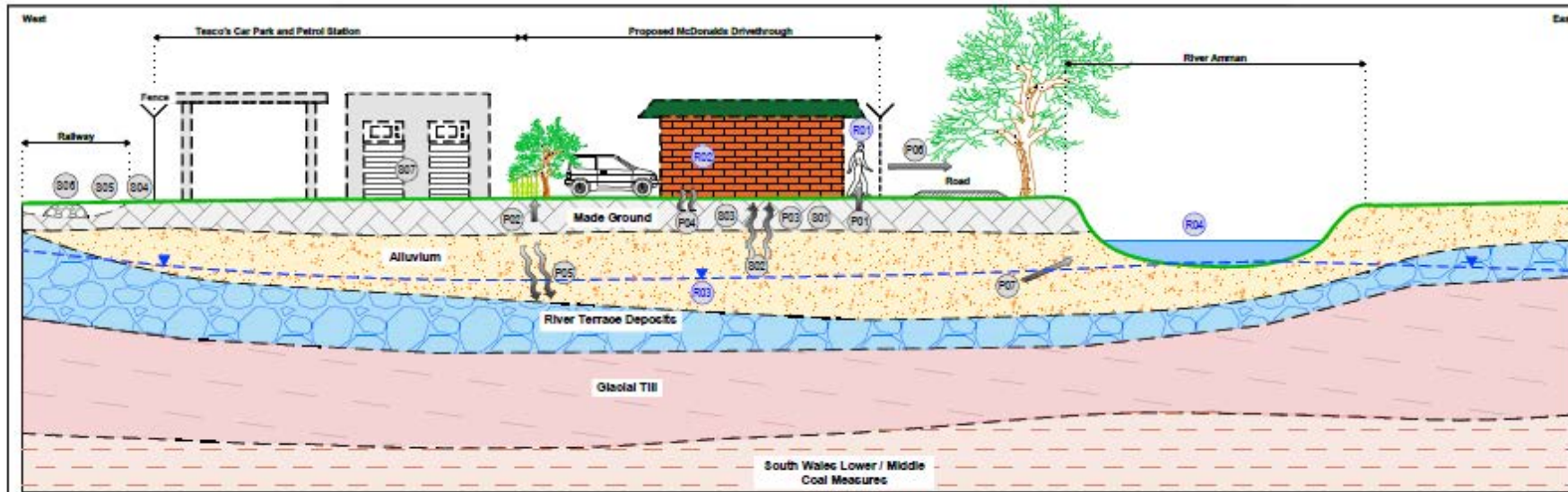


GENERAL NOTES	
1.	Check all dimensions and levels before construction.
2.	Obtain all necessary permits and approvals before starting work.
3.	Protect existing structures and utilities during construction.
4.	Ensure all work is completed in accordance with the approved plans.
5.	Obtain a final inspection and sign-off from the relevant authorities.

SPECIFICATIONS	
1.	Concrete: C25/30
2.	Reinforcement: B500S
3.	Brickwork: Engineering brick
4.	Roofing: Asphalt/Concrete
5.	Paintwork: External - White emulsion
6.	Internal - White emulsion
7.	Windows: UPVC double glazed
8.	Doors: UPVC composite
9.	Lighting: LED recessed
10.	Sanitaryware: White vitreous china
11.	Plumbing: Copper
12.	Electrical: PVC trunking
13.	Telecommunications: PVC trunking
14.	Grounding: 25mm ² copper
15.	Drainage: 150mm diameter
16.	Site works: 150mm compacted hardcore
17.	Landscaping: 100mm topsoil
18.	Planting: 100mm diameter trees
19.	Gravel: 20mm
20.	Asphalt: 100mm

BILL OF MATERIALS			
1.	Concrete	1000	m ³
2.	Reinforcement	1000	kg
3.	Brickwork	1000	m ²
4.	Roofing	1000	m ²
5.	Paintwork	1000	litres
6.	Windows	1000	m ²
7.	Doors	1000	m ²
8.	Lighting	1000	kg
9.	Sanitaryware	1000	kg
10.	Plumbing	1000	m
11.	Electrical	1000	m
12.	Telecommunications	1000	m
13.	Grounding	1000	m
14.	Drainage	1000	m
15.	Site works	1000	m ³
16.	Landscaping	1000	m ³
17.	Planting	1000	kg
18.	Gravel	1000	m ³
19.	Asphalt	1000	m ³

PL/05597 – Conceptual Site Model



Potential on-site sources of contamination

- S01. Made Ground, associated with historical construction activities and imported fill, possibly including elevated concentrations of metals, metalloids, asbestos fibres, Asbestos Containing Materials, PAH and petroleum hydrocarbons.
- S02. Ground gases (carbon dioxide and methane) from organic materials in the Made Ground / alluvial deposits.
- S03. Petroleum hydrocarbons associated with Made Ground.

Potential off-site sources of contamination

- S04. Hydrocarbon fuels, lubricants, and solvents from the historical railway operations immediately adjacent to site.
- S05. PCBs and oils from the historical railway operations immediately adjacent to site.
- S06. Pesticides from the historical railway operations immediately adjacent to site.

- S07. Hydrocarbon fuels, lubricants, and solvents from the filling station 12m north including leakage from USTs, the pipework between tanks and pumps, and general spillage, together with uncontrolled disposal and spillage from waste receptacles.

Potential receptors

The following potential receptors in relation to the proposed land use have been identified.

- R01. People (site end users, neighbours).
- R02. Development end use (buildings, utilities and landscaping).
- R03. Groundwater: Secondary A aquifer status of the River Terrace Deposits/Alluvium.
- R04. Surface water and aquatic ecosystem: River Amman immediately to the east.

Potential pathways

The following potential pathways have been identified.

- P01. Ingestion, skin contact, Inhalation of dust and outdoor air by people.
- P02. Root uptake by plants.
- P03. Carbon dioxide and methane ingress via permeable soils and/or construction gaps.
- P04. VOC and petroleum hydrocarbon vapour ingress via permeable soils and/or construction gaps.
- P05. Migration of contaminant via leachate migration through the unsaturated zone in the River Terrace Deposits/Alluvium.
- P06. Surface water via overland flow.
- P07. Surface water via base flow from groundwater.

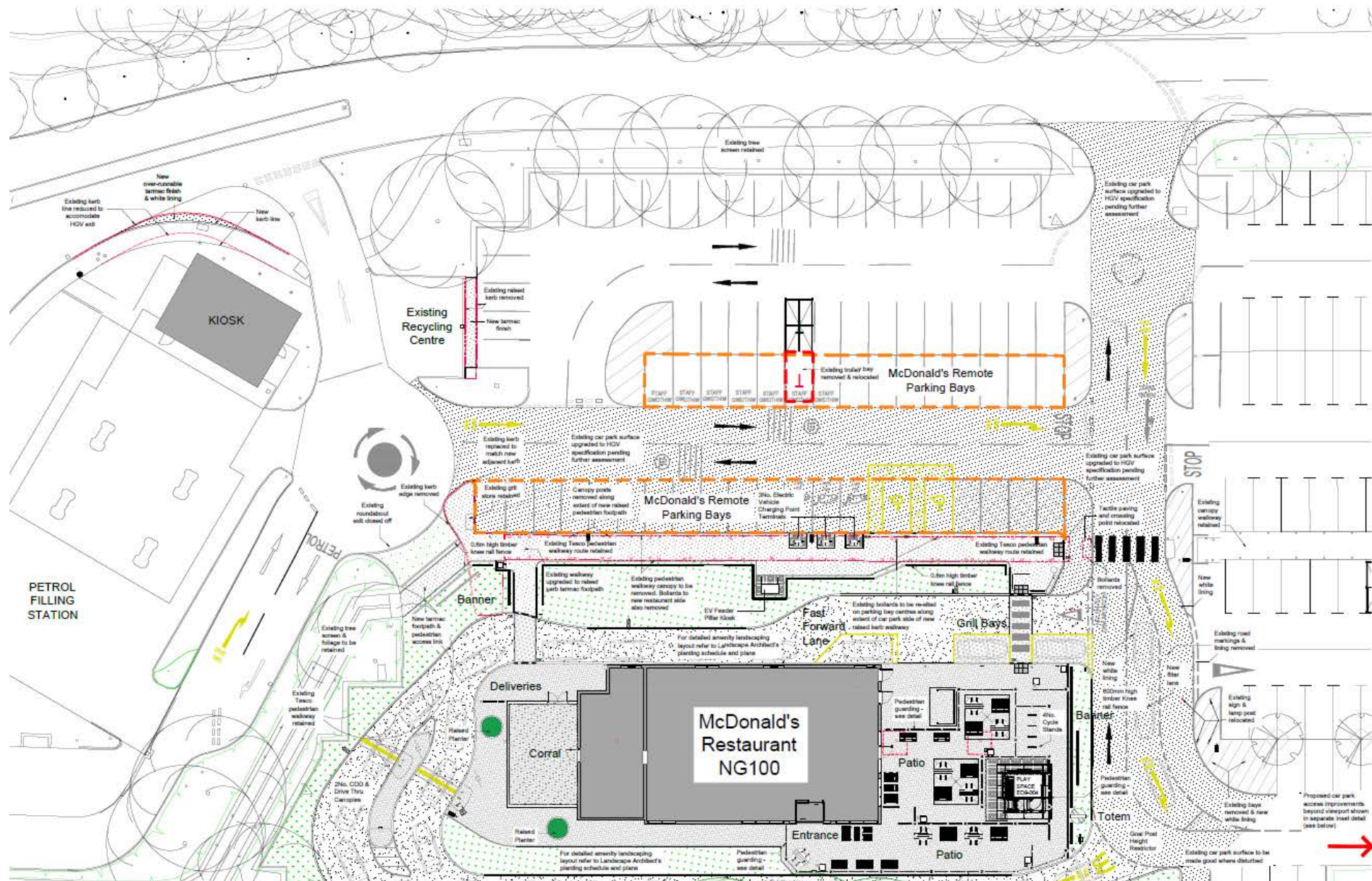
<p>Existing ground profile</p> <p>Conjectured geological boundary</p> <p>Groundwater elevation</p> <p>Made Ground</p> <p>Alluvium</p> <p>River Terrace Deposits</p> <p>South Wales Lower / Middle Coal Measures</p>	<p>NOTES</p> <p>1. All dimensions are to be checked on site before the commencement of works. Any discrepancies are to be reported to the Architect & Engineer for verification. Figured dimensions only are to be taken from this drawing.</p> <p>2. This drawing is to be read in conjunction with all relevant Engineer's and Service Engineer's drawings and specifications.</p>
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<p>Hydrock</p> <p>CLINT</p> <p>MCDONALDS RESTAURANTS LTD</p>	<p>PROJECT</p> <p>MCDONALDS AMMANFORD</p>
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<p>DATE</p> <p>BY</p> <p>REV</p>	<p>DESCRIPTION</p>
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<p>PROJECT</p> <p>MCDONALDS AMMANFORD</p>	<p>STATUS</p> <p>02</p>
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PL/05597 – Proposed Parking Plan



Notes:
All drawings to be read in conjunction with all other drawings as noted on issue sheet.

Proposed Site Finishes:

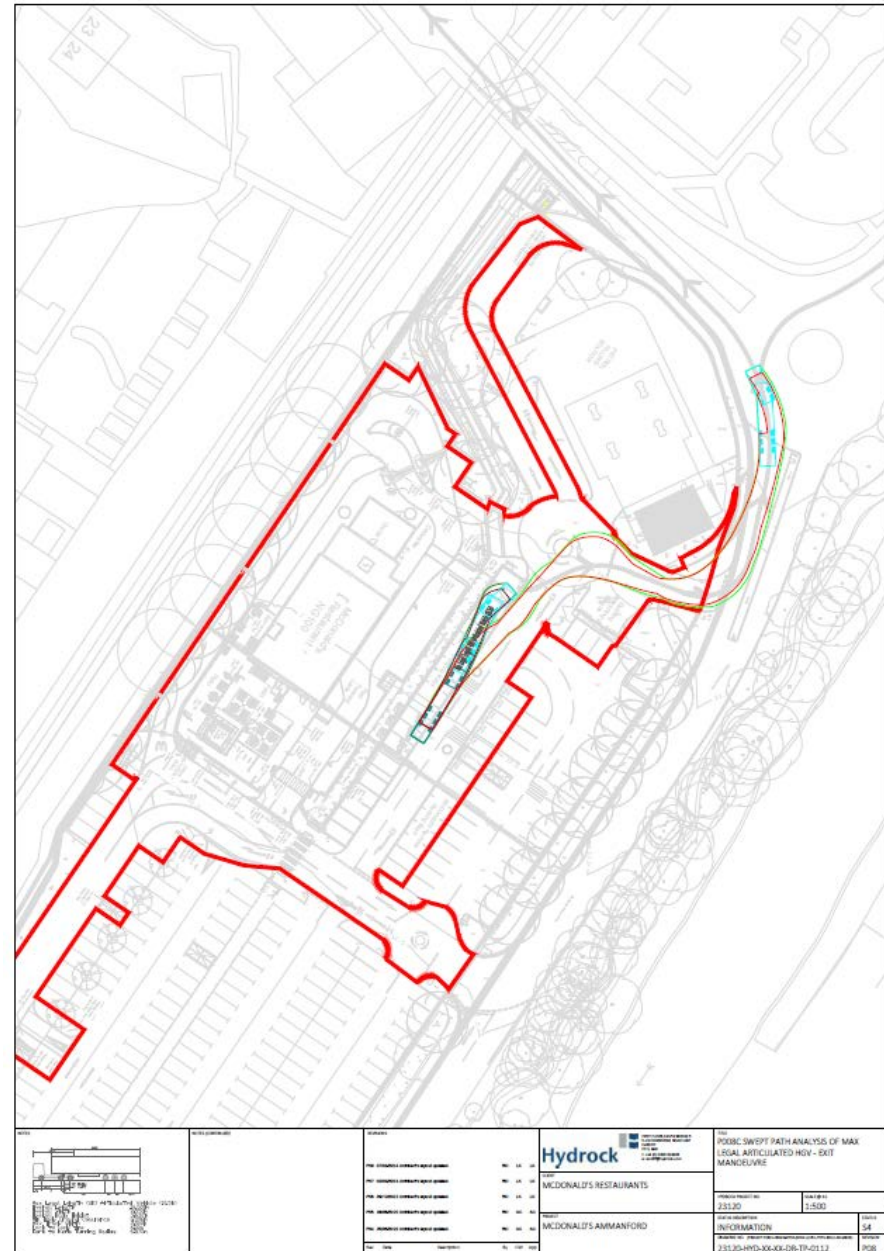
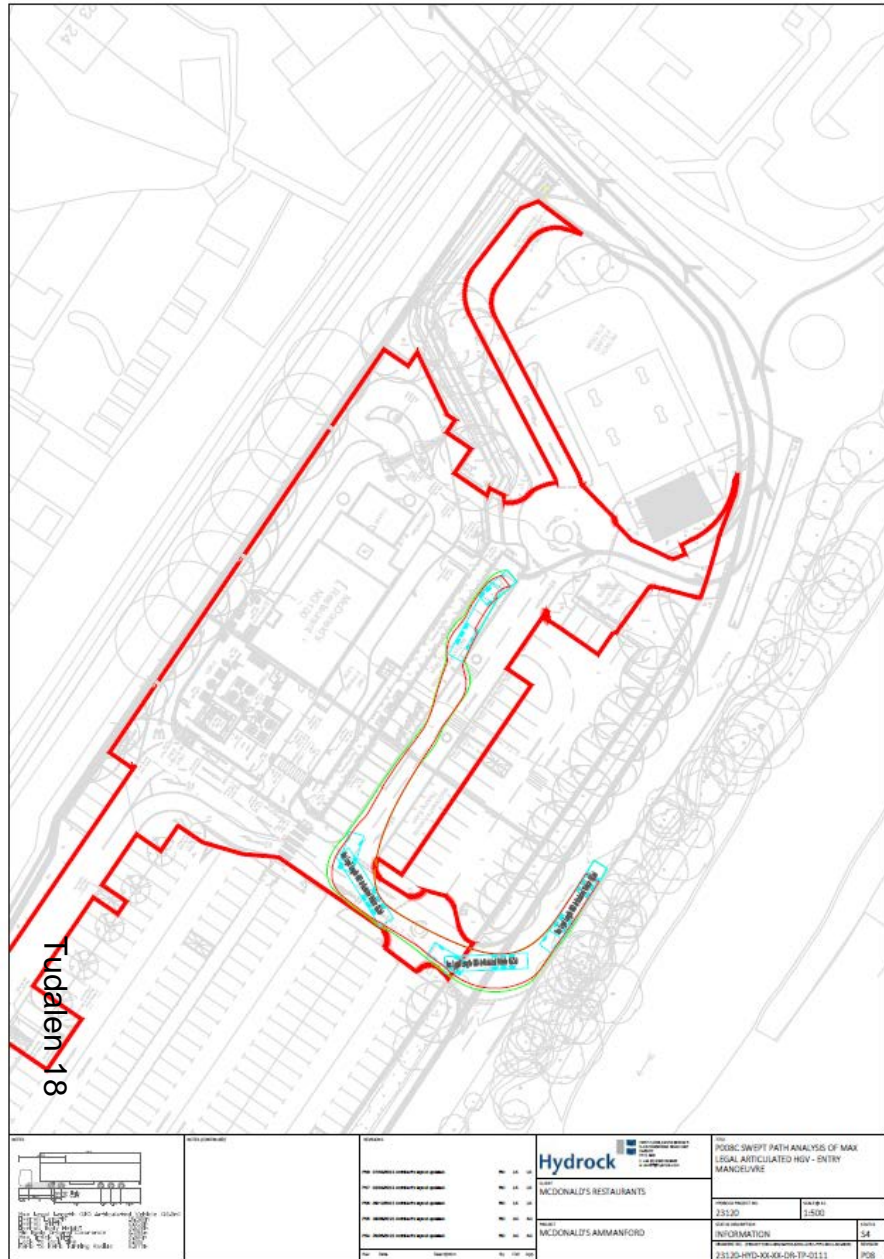
- Tarmac - Car park and footpaths as indicated.
- Charcoal Imprinted concrete - Drive thru lanes.
- Marshalls 200 x 100mm Charcoal KeyBlock paving - Pads & Footpaths as indicated.
- Charcoal brushed concrete - drive thru lane and delivery route.
- Brushed concrete - Corral slab & new recycling area. See Structural Engineers drawings for further details.
- Safety floor: Min. 50mm thick, wet pour bonded rubber. To be confirmed by Project Manager.
- Tactile blister paving.
- Existing soft landscaping.
- New soft landscaping - refer to Landscape Architect's detailed drawing layout for further information.

External Fixtures & Fittings:

- 2 Seat Rectangular Table.
- 4 seats - Round Table.
- 4 seats - Rectangular Table.
- One Armrest Bench (left or right).
- Coffee Table.
- Single Chair.
- Cycle Stand
Stainless steel Sheffield cycle stands @ 900mm centres.
- Pedestrian Guarding
1500mm or 900mm long x 1100mm high. Timber effect galvanneal steel.
- 8m Indicative lighting column - position to be confirmed by MAE consultant.
- Dual Bin with "Tidy Mer" Sign.
- Target Trash Bin
- Combi Delta Large Aperture Litter Bin by Gladon
550mm x 470mm high x 1550mm high. Bin body & door: Black.
- Ash Bin.
- Electricity Kiosk
Green Electricity Meter Housing, 2050w x 1000 x 2250mm High. Indicative location only. Position to be agreed with MAE Consultant after service entry positions have been established.
- Cranked Bollard
McDonald's standard cranked bollard. 1200mm high, 300mm offset painted white.
- Bollard - Bronze
115mm OD 90S bollard - no door guard - 1000mm high or similar approved.
- Luma Gen2 Bollard
LED D50 150LM NW LAMP. LED-IP 53 740 Mounting Height: 8m.

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PL/05597 – Proposed HGV Swept Path Analysis & Access



PL/05597 – Engineering Plan



KEY	
	SITE BOUNDARY
	EXISTING LEVEL TO BE RETAINED
	PROPOSED SPOT LEVEL
	PROPOSED SURFACE GRAZE/RETAINING WALL
	PROPOSED RAIN GARDEN

- GENERAL NOTES**
- DRAWING TO BE READ IN CONNECTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS AND WITH THE HEALTH AND SAFETY INFORMATION PROVIDED AND WITH THE PRE-CONSTRUCTION INFORMATION.
 - USE OF THIS DRAWING DOES NOT ABSOLVE THE CLIENT FROM HIS RESPONSIBILITIES UNDER THE HEALTH AND SAFETY, THE CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2015. THE PRINCIPAL DESIGNER IS REQUIRED TO CONTACT HYDROCK CONSULTANTS PRIOR TO PERMITTING THIS DRAWING TO BE USED IN CONNECTION WITH ANY CONSTRUCTION WORKS.
 - BEFORE COMMENCEMENT OF ANY WORKS ASSOCIATED WITH THE DRAWING REFER TO ALL RELEVANT HEALTH AND SAFETY INFORMATION FOR THE WORKS INCLUDING FEDERAL, REGIONAL INFORMATION. THE CONTRACTOR SHOULD COMPLY WITH HS&S AT WORKING GAUGES FROM DESIGNING SERVICES (WATER MAINS, LIGHTING AND SIGNALING) AROUND EXISTING SERVICES. IT IS KNOWN THAT EXISTING UTILITY COMPANIES (UNDERGROUND SERVICES AND APPURTENANCES ARE PRESENT) WITHIN THE PROPOSED WORKS AREA AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING SERVICES ON SITE ACCURATELY.
 - INFORMATION REGARDING THE LOCATION AND DEPTH OF EXISTING SERVICES CANNOT BE GUARANTEED BY THE CONTRACTOR UNLESS NOTED.
 - THE CONTRACTOR SHALL CONDUCT THE WORKS WITH DUE REGARD FOR THE ECOLOGICAL AND ENVIRONMENTAL REQUIREMENTS OF THE SCHEME. THIS DRAWING SHALL BE USED FOR THE INTENDED PURPOSE ONLY AND THIS DRAWING HAS BEEN BASED ON INFORMATION PROVIDED BY OTHER PARTIES AND HYDROCK DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION. DIMENSIONS SHALL NOT BE SCALED FROM THE DRAWING AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DIMENSIONAL LEVELS ON SITE FOR THE ACTUAL SETTING OUT OF THE WORKS. DIMENSIONS MARKED DIMENSIONS TO BE SITS CHECKED ARE SUBJECT TO CONFIRMATION BY THE CONTRACTOR BEFORE THE WORKS COMMENCE.
 - HYDROCK IS NOT RESPONSIBLE FOR CHECKING DIMENSIONS ON SITE.
 - HYDROCK IS NOT RESPONSIBLE FOR SETTING OUT GRID LINES, BUILDING LINE ETC.
 - HYDROCK IS NOT RESPONSIBLE FOR DIMENSIONS USED IN THE ORDERING AND MANUFACTURING OF EQUIPMENT AND THIS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL POINTS LEVELS ARE METRIC AND RELATED TO EXISTING SURVEY GRID & DATUM UNLESS NOTED OTHERWISE.
 - ALL POINTS DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
 - IMPORTANT WORKS DESIGN ASSOCIATED WITH THE CONSTRUCTION OF THE WORKS SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAINTAIN FREE AND OPEN ACCESS TO PUBLIC HIGHWAY AND ADJACENT LANES AT ALL TIMES DURING THE COURSE OF THE WORKS UNLESS OTHERWISE AGREED IN WRITING WITH THE INTERESTED PARTIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL TRAFFIC MANAGEMENT PROPOSALS & PHASING. SUCH DETAILS SHALL BE SUBMITTED TO THE LOCAL HIGHWAY AUTHORITY FOR APPROVAL PRIOR TO THE START OF THE WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS AND ORDERS.
 - CONFLICTING INFORMATION SHOWN ON THE ENGINEER'S DRAWINGS OR SPECIFICATIONS BETWEEN THE INFORMATION GIVEN BY THE ENGINEER AND THAT PROVIDED BY OTHERS MUST BE REFERRED TO THE ENGINEER BEFORE THE WORKS COMMENCE.

Revisions

REV	FOR WORK	ISSUED	BY	DATE	APPROVED	DATE
01						

HYDROCK CONSULTANTS
 3RD FLOOR, WALTON PLACE
 23 WILSON STREET
 CARDIFF
 CF10 1AF (UK)
 T: +44 (0)115 923 0200
 E: info@hydrock.com

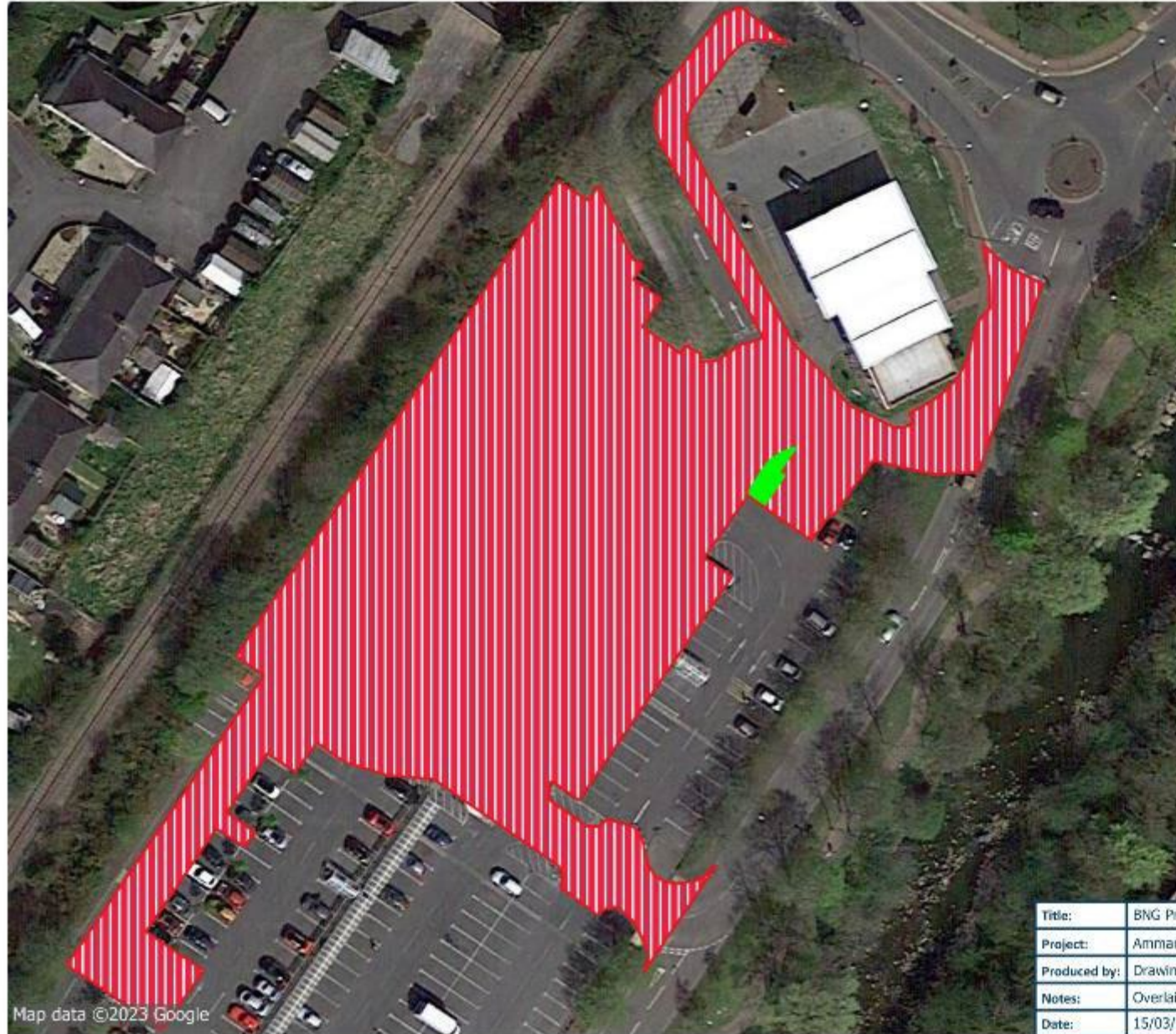
CLIENT
MCDONALD'S RESTAURANTS LTD

PROJECT
MCDONALD'S AMMANFORD

TITLE
ENGINEERING PLAN

HYDROCK PROJECT NO. C-23120	SCALE @ A1 1:200
STATUS DESCRIPTION FOR INFORMATION	STATUS S2
DRAWING NO. (PROJECT NUMBER/PROJECT LEVEL/PROJECT NUMBER) 23120-HYD-XX-XX-DR-C-1000	REVISION P02

PL/05597 – Pre Development Habitats



PRACTICAL
ecology

The Roost, Scale, Norfolk, IP21 4DT
T: 01379 740098
E: info@practical-ecology.co.uk
W: www.practical-ecology.co.uk

Legend

- Site Boundary
- Developed land; sealed surfaces
- Modified grassland



Title:	BNG Pre-development habitats V1
Project:	Ammanford 8256, Tesco Park Street
Produced by:	Drawings: A. Pino-Blanco Reviewed by: C.Weaire
Notes:	Overlaid on Site Layout Plan: 8256-SA-8628-P004 C
Date:	15/03/2023

PL/05597 – Post Development Habitats



The Roost, Scale, Norfolk, IP21 4DT
T: 01379 740098
E: info@practical-ecology.co.uk
W: www.practical-ecology.co.uk

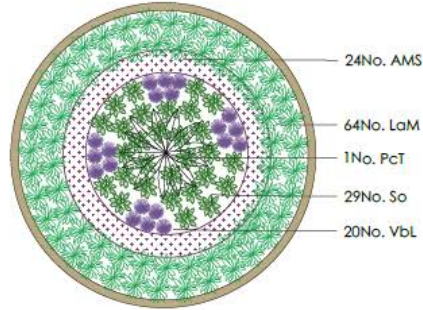
Legend

- Site Boundary
- New Hedgerow
- New small tree
- Buildings
- Developed land; sealed surfaces
- Shrub planting
- Modified grassland
- Ground level planters

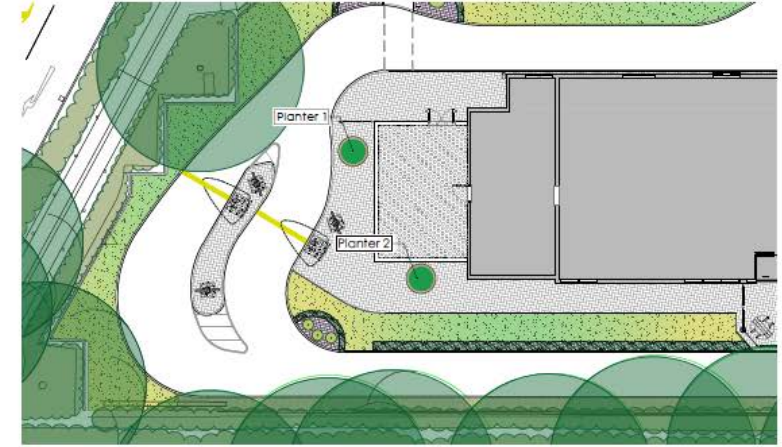
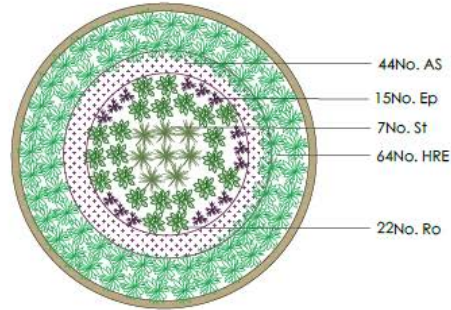
Title:	BNG Pre-development habitats v1
Project:	Ammanford 8256, Tesco Park Street
Produced by:	Drawings: A. Pino-Blanco Reviewed by: C.Weaire
Notes:	Overlaid on Site Layout Plan: 8256-SA-8628-P004 C
Date:	15/03/2023

PL/05597 – Proposed Landscape Details

PLANTER No. 1



PLANTER No. 2



PLANTER LOCATION PLAN: NTS

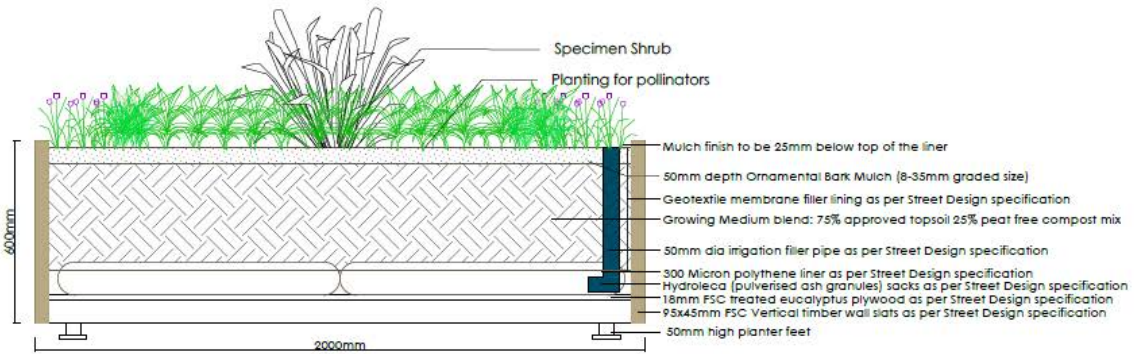
L02 RAISED PLANTER PLANTING PLANS: 1:20
01

PLANTING SCHEDULES:

Planter 1 Planting							
Shrubs	Abb	Height (cm)	Root	Container	Habit	Quantity	
Lavandula angustifolia 'Munstead'	LaM	30-40	C	3L	Bushy	64	
Saponaria officinalis	So	40-60	C	3L	Bushy	29	
Verbena bonariensis	VbL	30-40	C	2L	Branched	20	
Bulbs	Abb	Grade	*Bulbs to be planted 15cm deep & 15cm apart				
Allium 'Mount Everest'	AMS	5/6					24
Specimen	Abb	Height (cm)	Root Condition	Container	Habit	Quantity	
Phormium cookianum 'Tricolor'	PcT	/	C	10-12L	Triple Crown	1	

Planter 2 Planting							
Shrubs	Abb	Height (cm)	Root	Container	Habit	Quantity	
Echinacea purpurea	Ep	30-40	C	2L	Branched	15	
Hebe 'Red Edge'	HRE	30-40	C	3L	Bushy	64	
Rosmarinus officinalis	Ro	40-60	C	3L	Bushy	22	
Stipa tenuifolia	St	/	C	3L	V	7	
Bulbs	Abb	Grade	*Bulbs to be planted 10cm deep & 10cm apart				
Allium sphaerocephalon	AS	5/6					44

PLANTING SPECIES



L02 PLANTER SECTION: 1:10
02

RAISED PLANTER

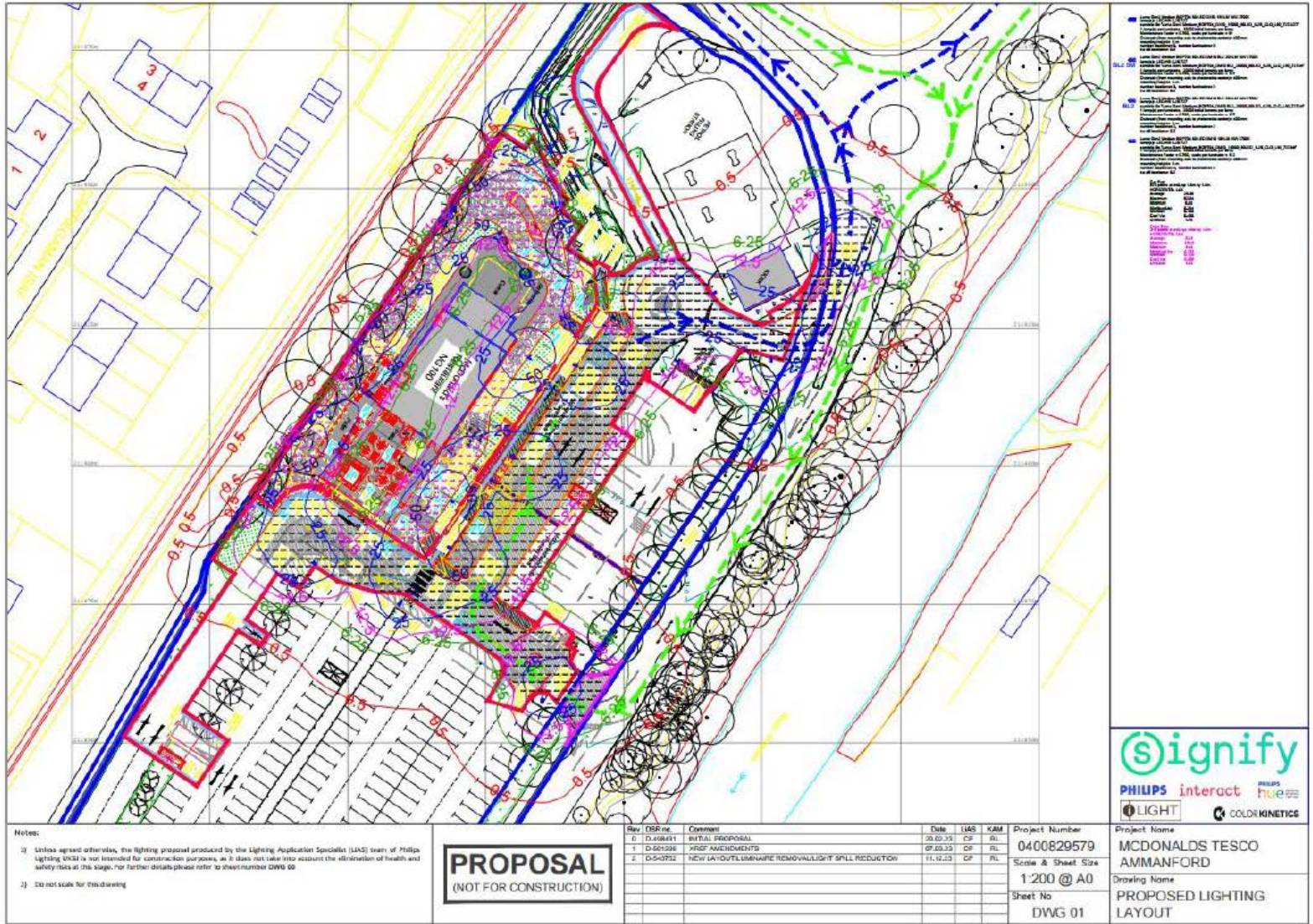


Proposed circular raised planter (2No.)
Product: Swiftland - SVPSG 03
Diameter: 2000mm
Height: 600mm
Material: FSC lanka hardwood with mild steel fixings
Supplier: Steel-design

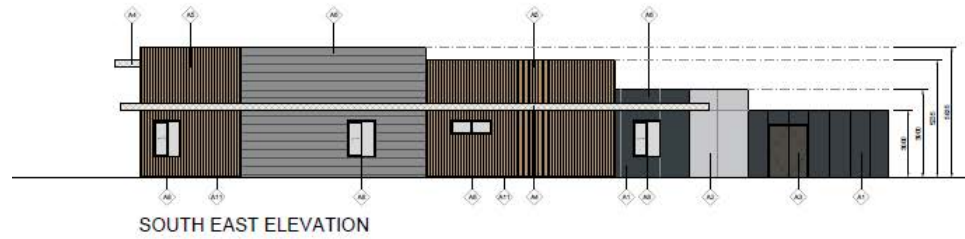
<p>Drawing to be read in conjunction with: Vector Landscape Plan Drawing 19159-VL-McD_01</p>			
Project Title	Proposed McDonald's Restaurant		
Location	Park Street Ammanford SA18 2LR		
Client	McDonald's Restaurants Ltd		
Status	Planning		
Scale	As Shown		
Drawn by	HS		
Checked by	AS		
Date	02/2023		
Revision	Description	Drawn	Checked
01-24.11.2020	Updated to coordinate with latest site layout	HS	AS
02-24.11.2020	Location plan updated	HS	AS
03-24.11.2020	Updated to coordinate with latest site layout	HS	AS
04-05.03.2023	Updated to coordinate with latest site layout	HS	AS
05-15.03.2023	Final line boundary update	HS	AS
06-15.03.2023	Updated to coordinate with revised landscape plan	HS	AS
Job-Orig No	19159-VL-McD_L02	Rev	0
		<p>LANDSCAPE DESIGNERS</p> <p>4 ST JOHN'S NORTH, WAKEFIELD, WF1 3GA. TEL 01924 330256 www.vectorltd.co.uk</p>	

PL/05597 – Proposed Lighting Layout

Appendix 1: Proposed Lighting Layout for the Site



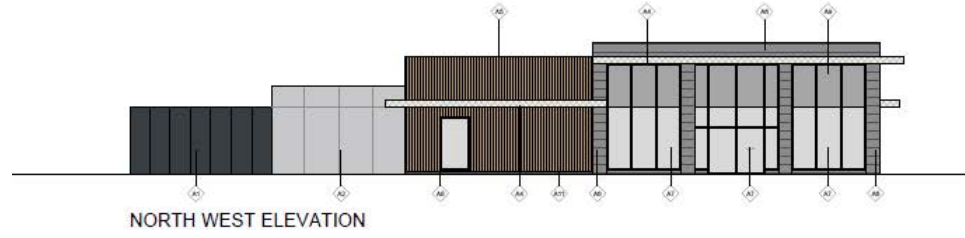
PL/05597 – Elevations



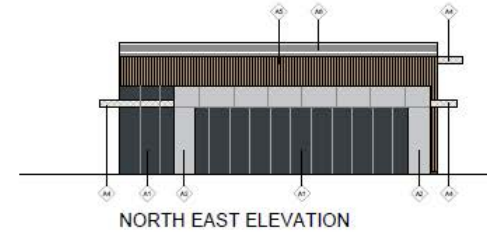
SOUTH EAST ELEVATION



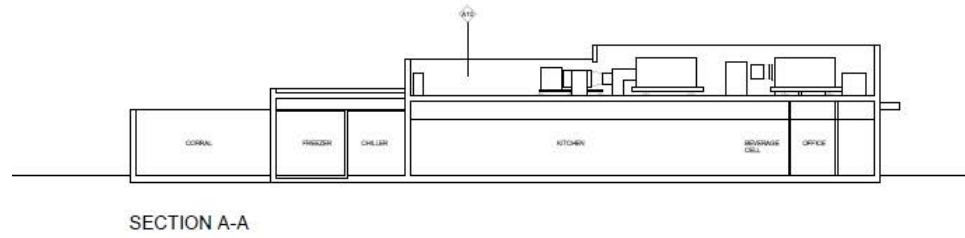
SOUTH WEST ELEVATION



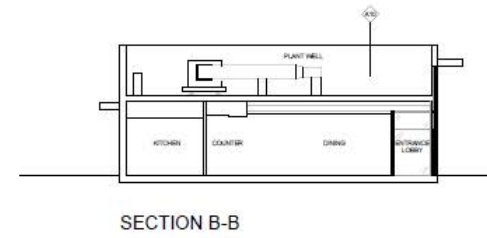
NORTH WEST ELEVATION



NORTH EAST ELEVATION



SECTION A-A



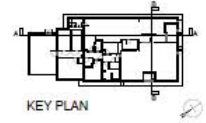
SECTION B-B



Notes:
 All drawings to be read in conjunction with all other drawings as issued on issue of set.

MATERIALS LEGEND:

- A1 Corral
Coral looking panels
- A2 Restaurant & Office
Stone effect cladding panels
- A3 Security Cloak
PPG PAL 2022 Carbon Grey
- A4 Corridor
PPG PAL 4076 Traffic White
- A5 Restaurant
Stone effect cladding panels
- A6 Restaurant
Dark grey cladding
- A7 Restaurant Cladding
PPG PAL 4022 Jet Black Frame
- A8 Window and Cloak
PPG PAL 4022 Jet Black Frame
- A9 Corridor Cladding
PPG PAL 4022 Jet Black Frame
- A10 Plant Area
Black Cladding panels
- A11 Floor
Dark grey engineering brick



KEY PLAN

Tudalen 26



NG100

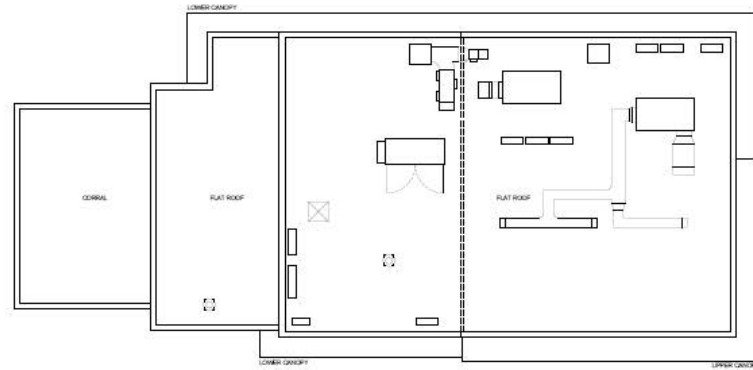
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 PROJECT ADDRESS: Tudalen 26, 1701
 PROJECT NO: PL/05597
 DATE: 2023-04-13
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 CHECKED BY: [Name]
 APPROVED BY: [Name]
 PROJECT MANAGER: [Name]



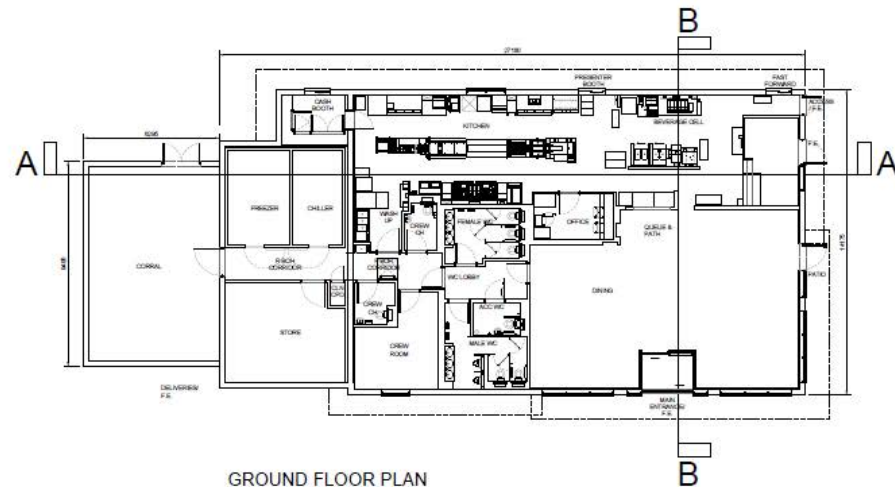
PL/05597 – Floor Plans



Notes:
 All drawings to be read in conjunction with all other
 drawings in this set of plans.



ROOF PLAN



GROUND FLOOR PLAN

Tudalen 27



NG100
 Title: Plot Sheet
 Date: 14/03/2019
 Project: Tudalen 27
 Drawing: Ground Floor and Roof Plans
 Scale: 1:100
 Drawing Code: SCS-P-A-052A-PR05-A
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PL/05597

Looking
west from
service
road/River
Amman



PL/05597

Looking
north-west
from
service
road/River
Amman

Tudalen 29



PL/05597

Looking
north from
service
road/River
Amman



PL/05597

Looking
west from
service
road/River
Amman
towards
Fuel
Station

Tudalen 31



PL/05597

Looking
west from
service
road/River
Amman
towards
Fuel
Station

Tudalen 32



PL/05597

Looking
south from
A474
roundabout
towards
Fuel Station

Tudalen 33



PL/05597

Looking
south-west
from A474
roundabout
towards
Fuel Station
and railway

Tidalen 34



PL/05597

Looking
west from
A474
towards
railway and
modern
retail
outlets

Tudalen 35



PL/05597

Looking
south from
A474
towards
Fuel Station
and
proposed
site beyond



Tudalens 36

PL/05597

Looking
south from
A474
towards
Fuel Station
and
proposed
site beyond



Tidale 137

PL/05597

Looking
west from
A474 over
railway
towards
town
centre.

Tudalen 38



Looking south from pedestrian path adj. fuel station towards application site.



PL/05597

Application
site, looking
south
towards
Tesco
store.



PL/05597

Application
site, looking
south
towards
Tesco
store.



PL/05597

Application
site, looking
east
towards
River
Amman.



PL/05597

Application site, looking north east towards fuel station.



PL/05597

Application site, looking south highlighting boundary hedge with railway land.

Tudalen 44



PL/05597

Looking
west
through
boundary
hedge
towards
nearest
residential.



Tudalens 45

PL/05597

Looking
west
through
boundary
hedge
towards
nearest
residential.

Tudalens 46



PL/05597

Looking
east from
the nearest
residential
units.



PL/05597

Looking
east from
the nearest
residential
units, at
edge of the
railway
boundary.

Tudalen
48



PL/06623

Kevin D Phillips

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Place and Sustainability - Planning Services

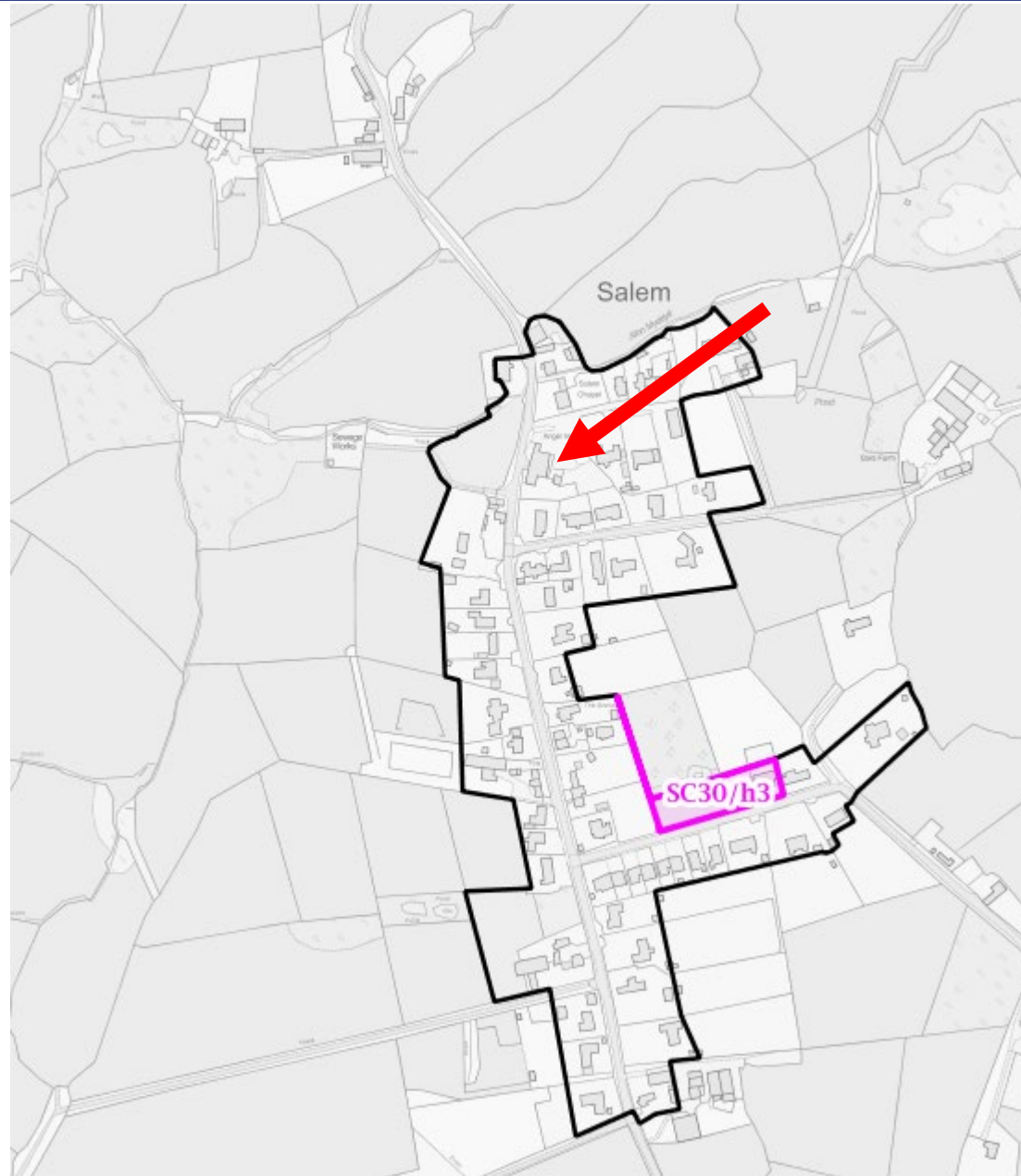
Lle a Seilwaith | Place and Infrastructure

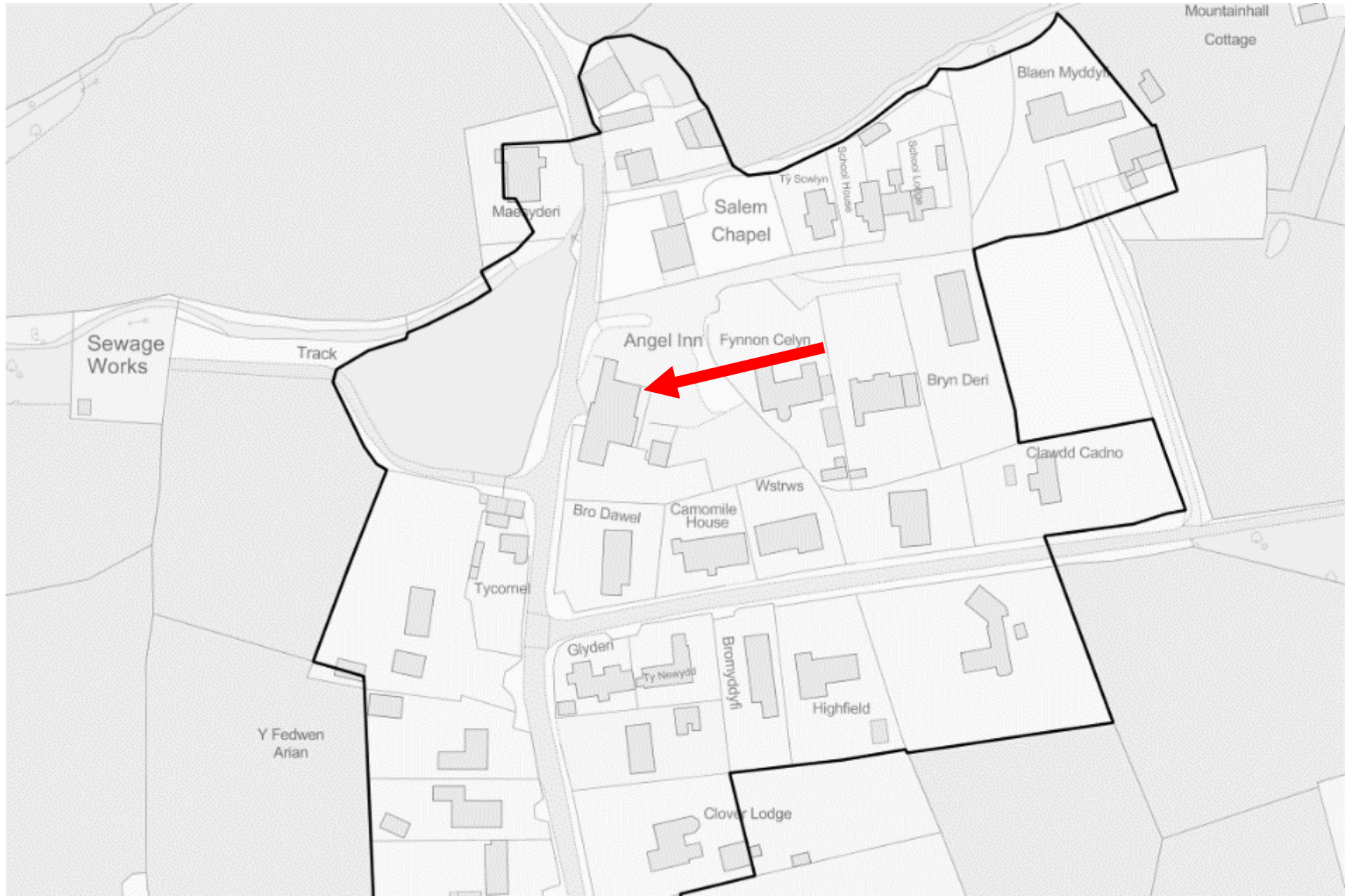
Tudalen 49

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Carmarthenshire
County Council

















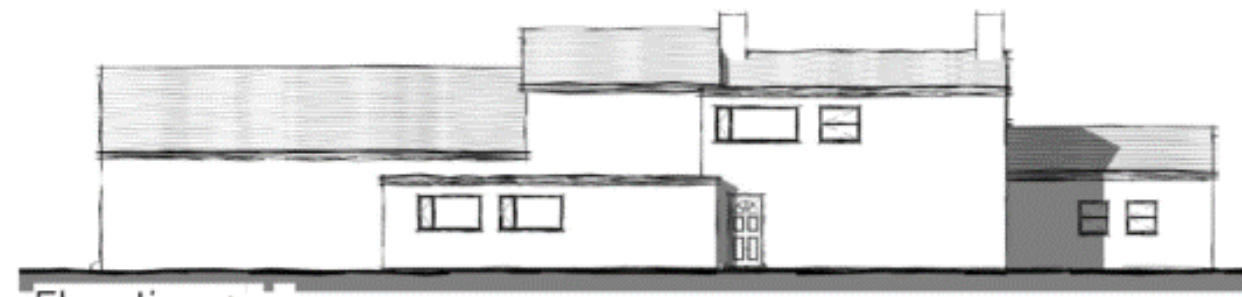
1 Elevation 1 - a
1 : 200



2 Elevation 2 - a
1 : 200



3 Elevation 3 - a
1 : 200
Tudalen 56



4 Elevation 4 - a
1 : 200



1 Elevation 1 Proposed
1:200



2 Elevation 2 Proposed
1:200

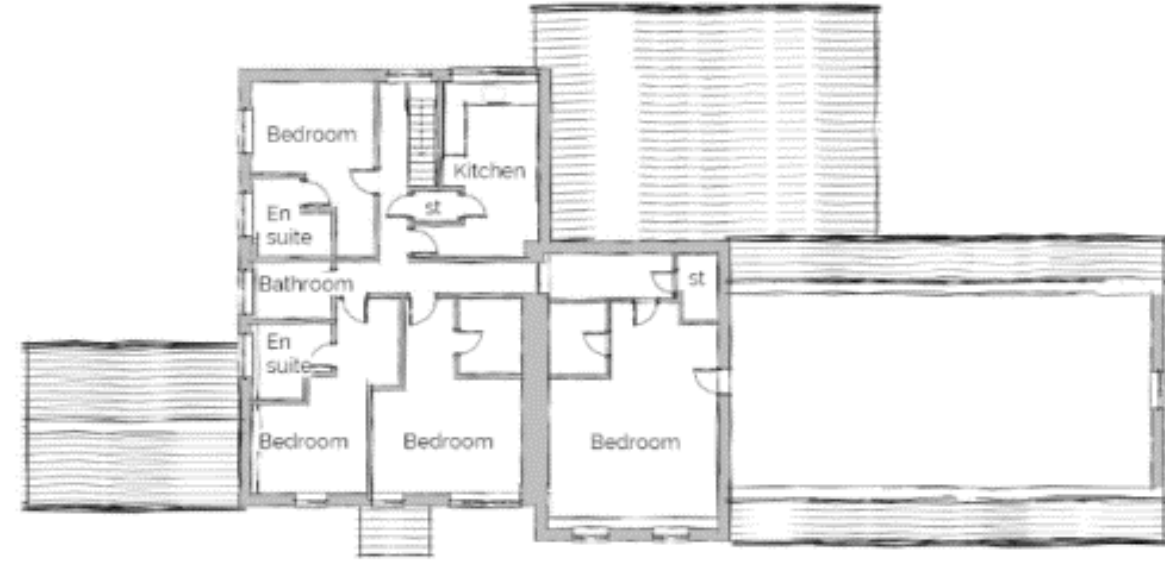


Tudalen 57

3 Elevation 3 Proposed
1:200



4 Elevation 4 Proposed
1:200



1 Existing GF
1 : 200

2 Existing FF
1 : 200



1 Proposed GF
1 : 200



2 Proposed FF
1 : 200

























PL/06638

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PL/06638 Wider Location Plan



PL/06638 Aerial Photograph

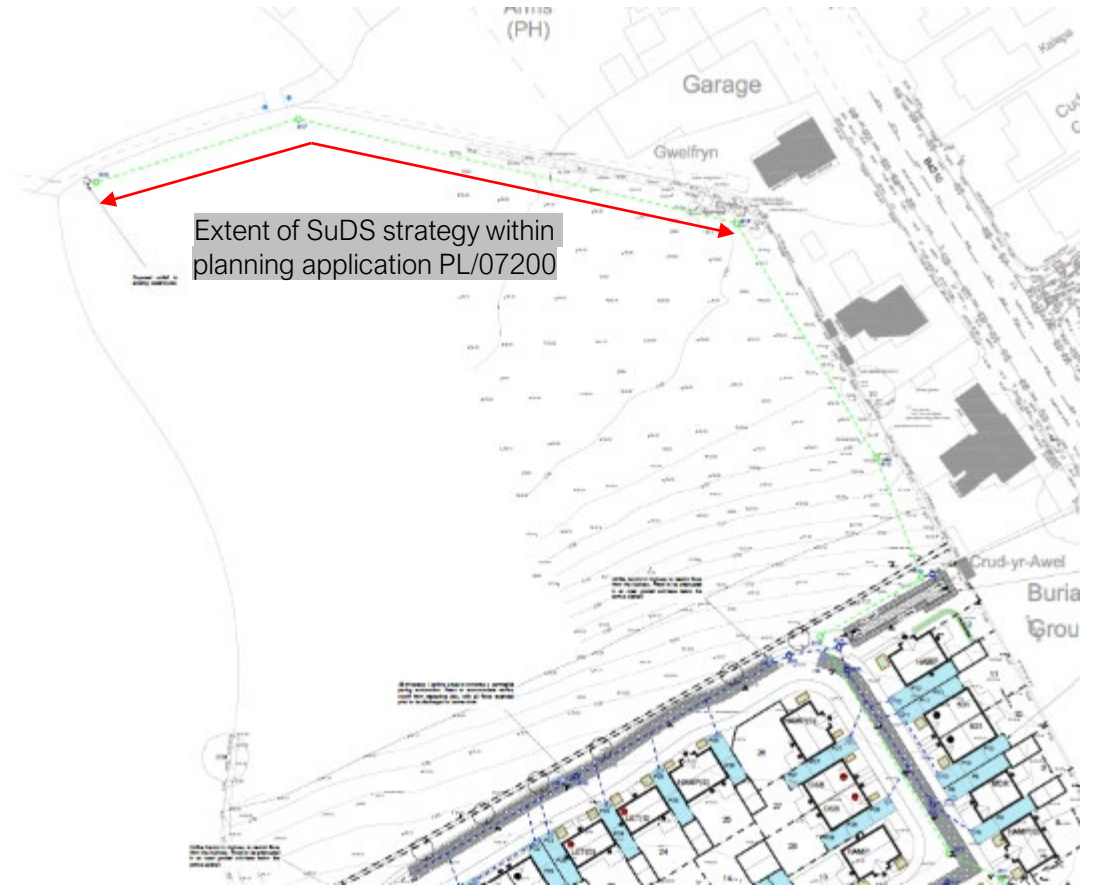


Tudalen 75

PL/06638 Site plan



PL/06638 SuDS Strategy Plan



PL/06638 Engineering layout – Foul Drainage



Tudalen 78

PL/06638 Elevational drawings



Figure 11 – proposed four-bed detached house type “Hampstead”



Figure 12 – proposed two-bed Affordable semi-detached house type “Rhiwbina”



Figure 13 – proposed Affordable semi-detached three-bed house type “531”



Figure 10 – proposed three-bed detached house “Morris”

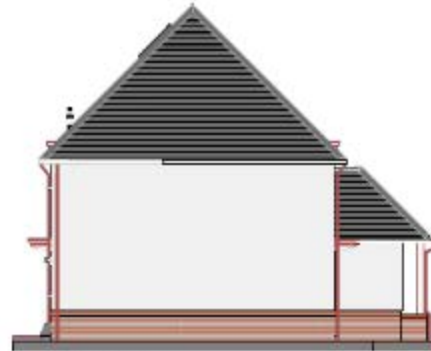


Figure 14 – typical three-bed detached Affordable bungalow “532”

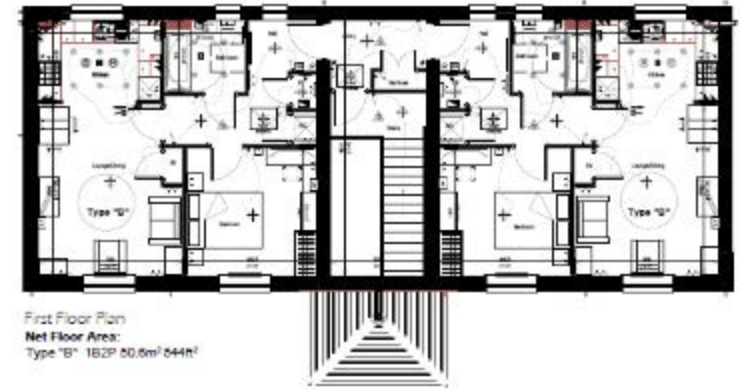
PL/06638 Elevational drawings (Four one-bedroom flats)



Front Elevation



Side Elevation



First Floor Plan
Net Floor Area:
Type "B" 182P 60.6m² 644ft²



Rear Elevation



Side Elevation



Ground Floor Plan
Net Floor Area:
Type "A" 182P 60.6m² 644ft²

PL/06638 Street scene view



Tudalen 82



PL/06638 Street scene view



Tudalen 83



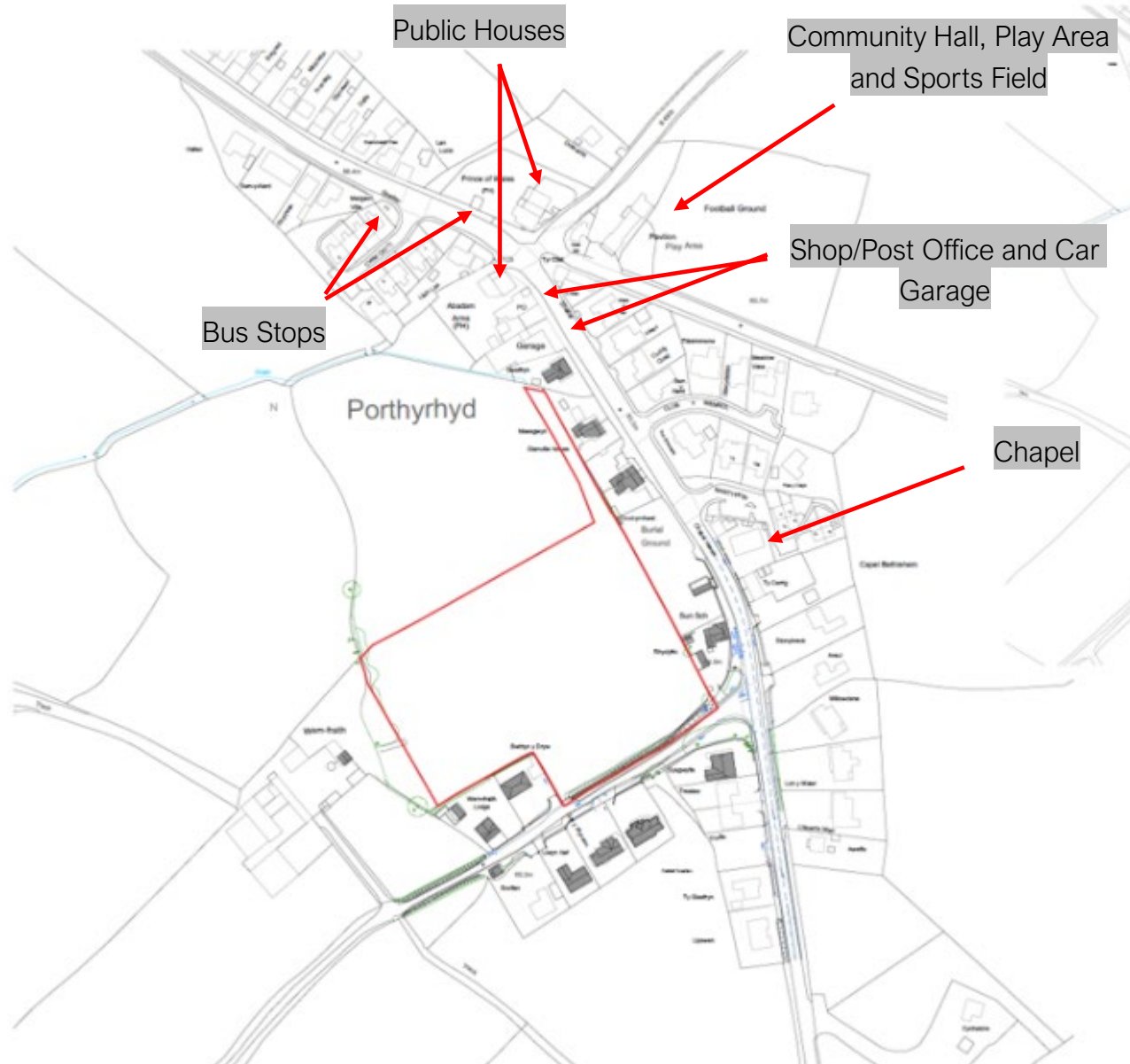
PL/06638 Street scene view



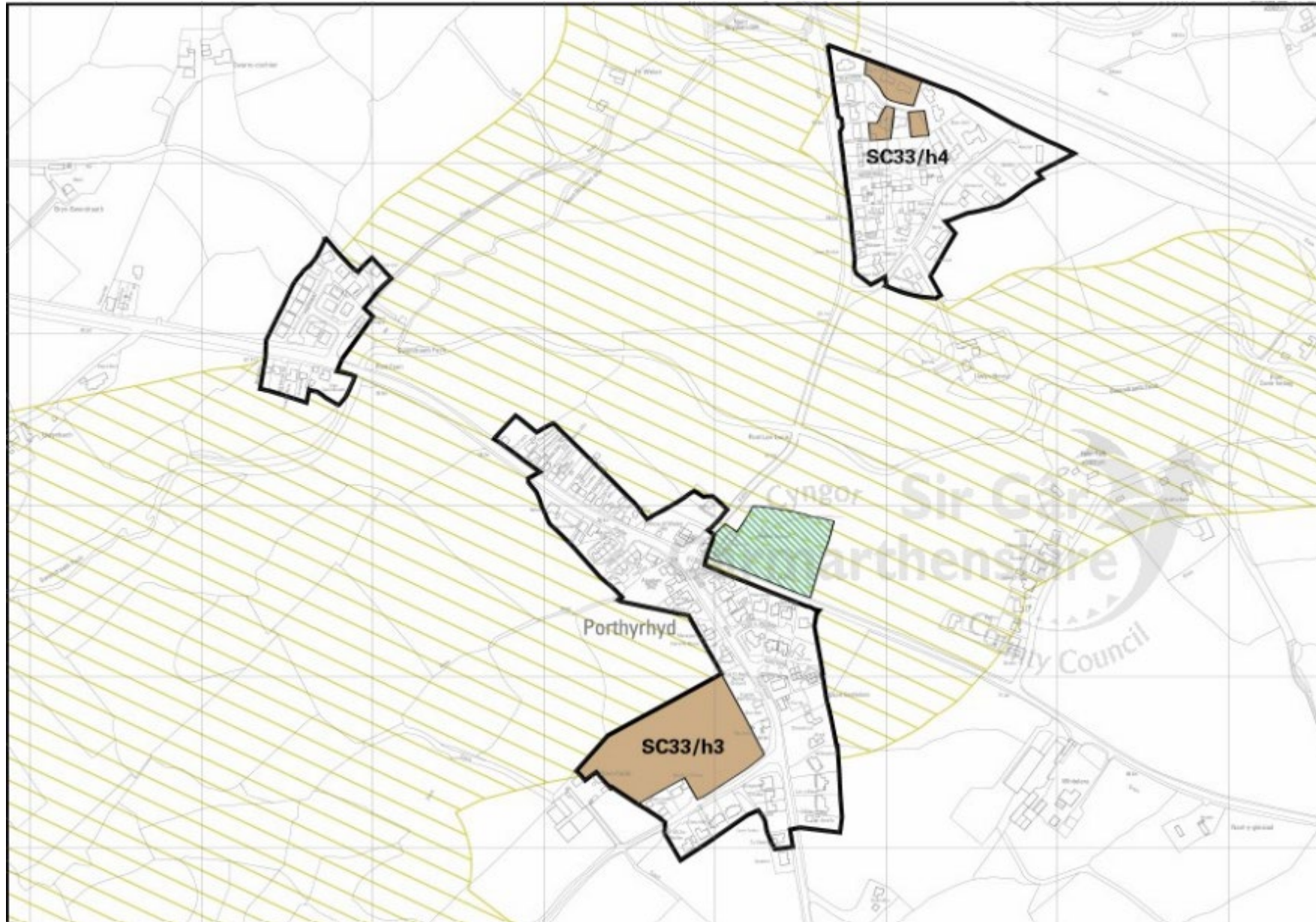
Tudalen 84



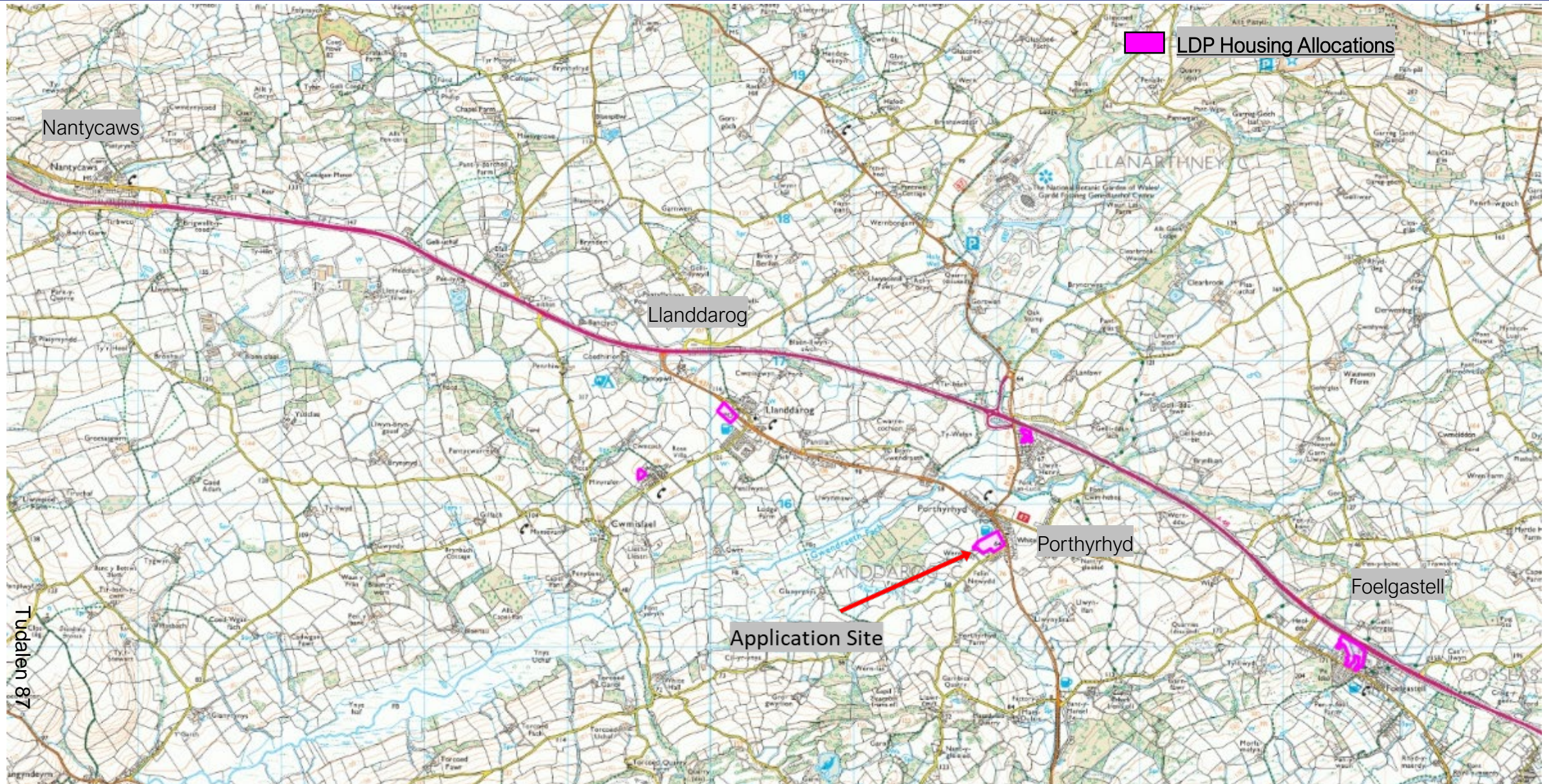
PL/06638 – Location of site in relation to existing services and facilities



PL/06638 – Extract from Proposals Map for Porthyrhyd in Adopted LDP



PL/06638 Location of site in relation to surrounding settlements and LDP housing allocations





Tudalen 88





Tudalen 89





Tudalen 90





Tudalen 91





Tudalen 92





Tudalen 93





Tudalen 94





Tudalen 95



Proposed point of discharge to
watercourse from SuDS Scheme



Tudalen 96





Tudalen 97





Tudalen 98



PL/06638



Tudalen 99



PL/07200

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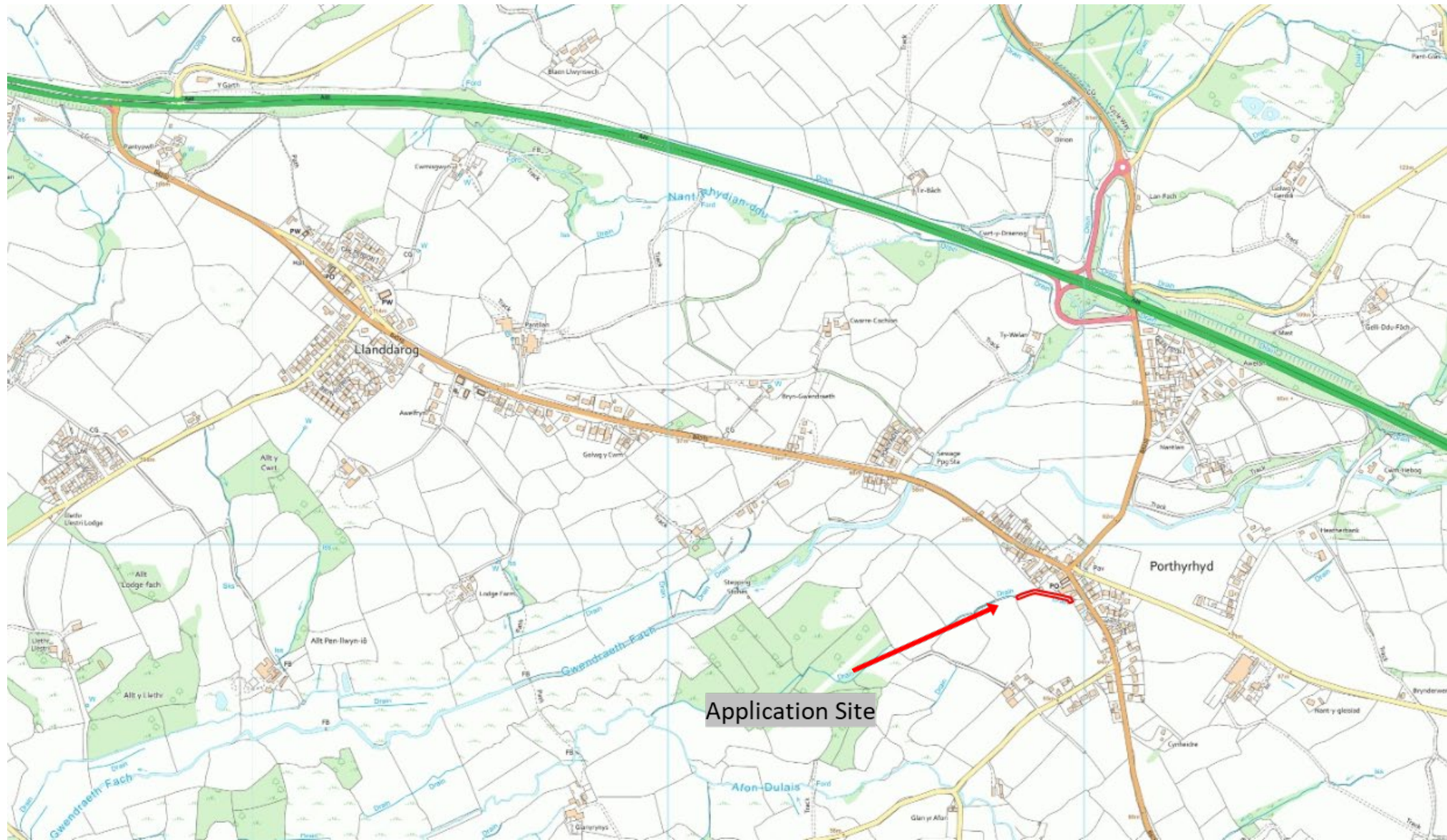
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Tudalen 100

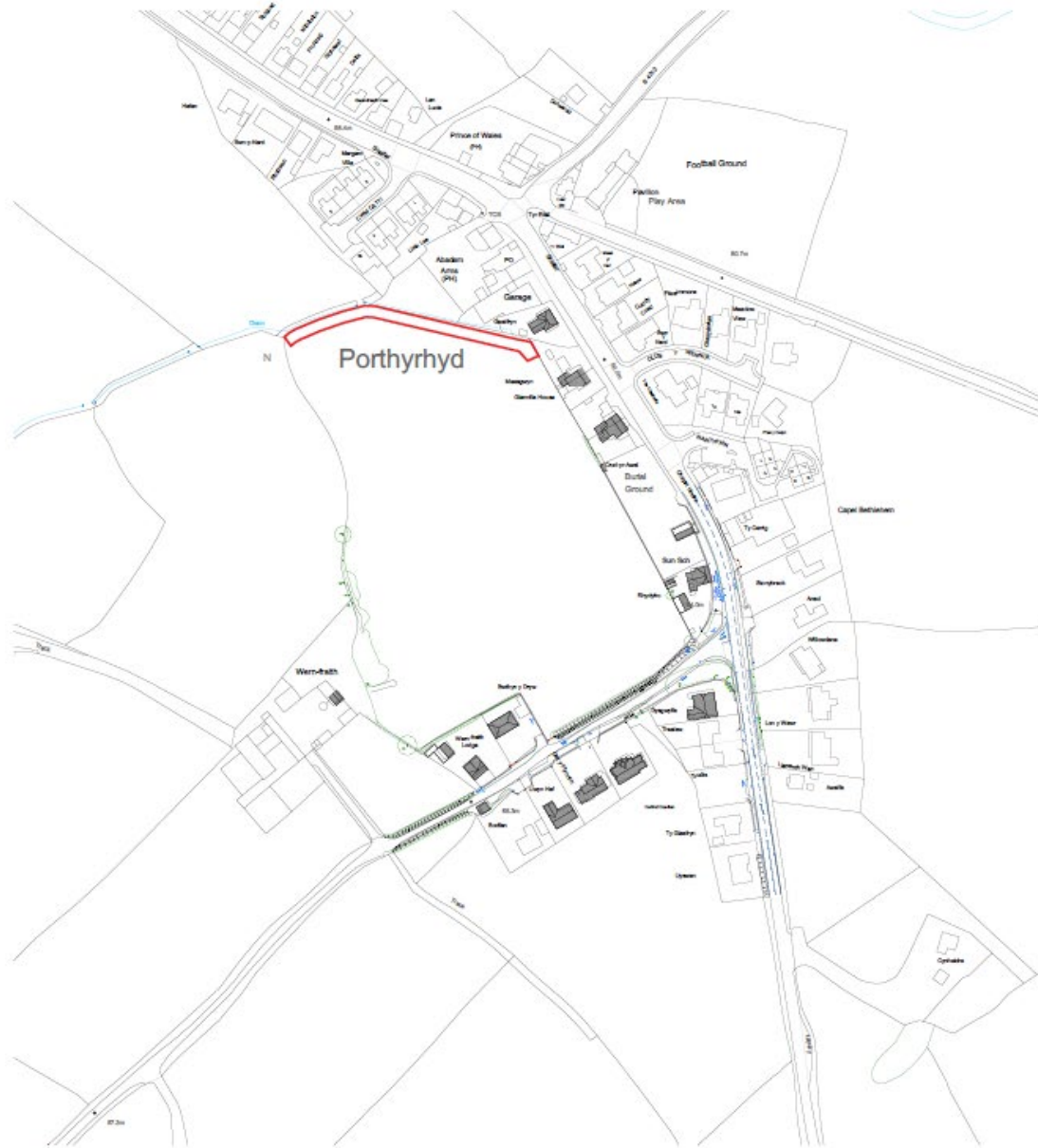
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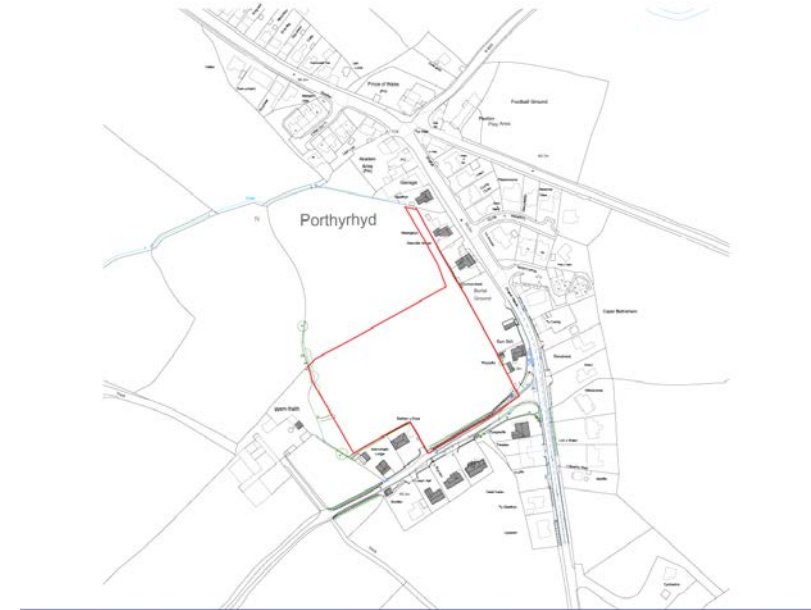
PL/07200 Wider location Plan



PL/07200 Location plan



Extent of application site of
planning application PL/06638



PL/07200 Aerial Photograph



Tudalen 103

PL/07200 SuDS Strategy Plan



SuDS strategy within planning application PL/06638



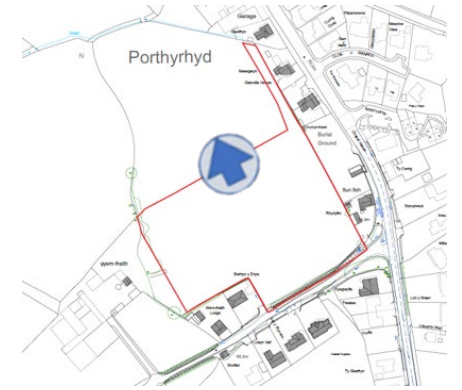
Proposed point of discharge to watercourse from SuDS Scheme



Extent of application site



Tudalen 105



**Ceisiadau yr argymhellir
eu bod yn cael eu
gwrthod**

**Applications
recommended for
refusal**

PL/06972

Charlotte Ford

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Site / Block & Landscaping Plan 1:500



PL/06972- Elevations



Front Elevation 1:100

Tudalen 111

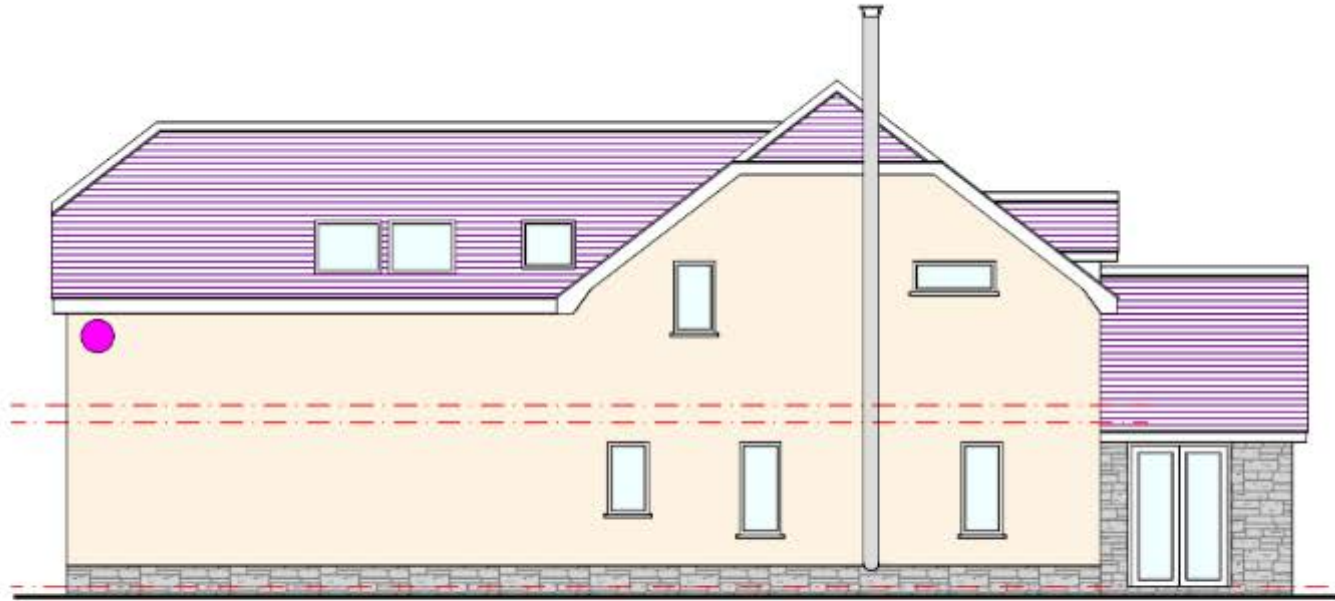


Side Elevation 1:100

PL/06972 - Elevations

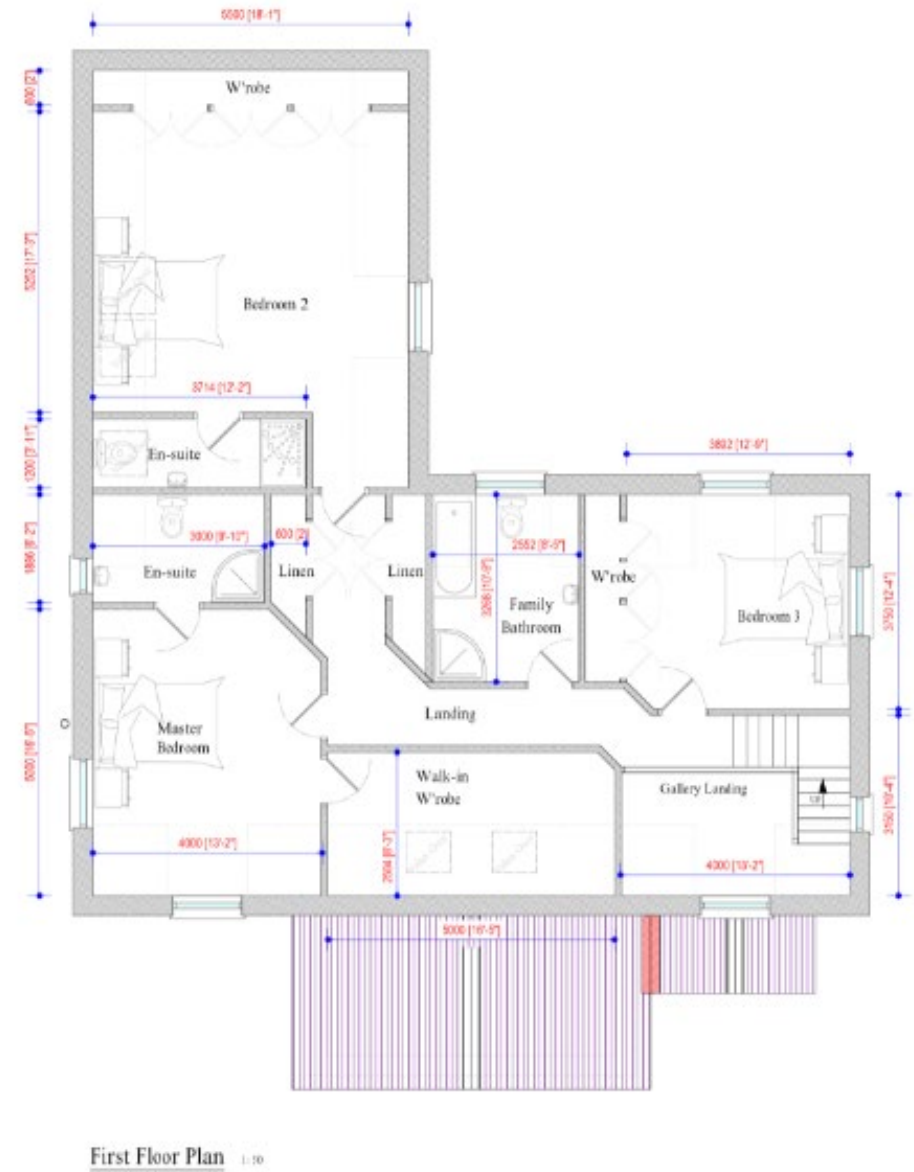
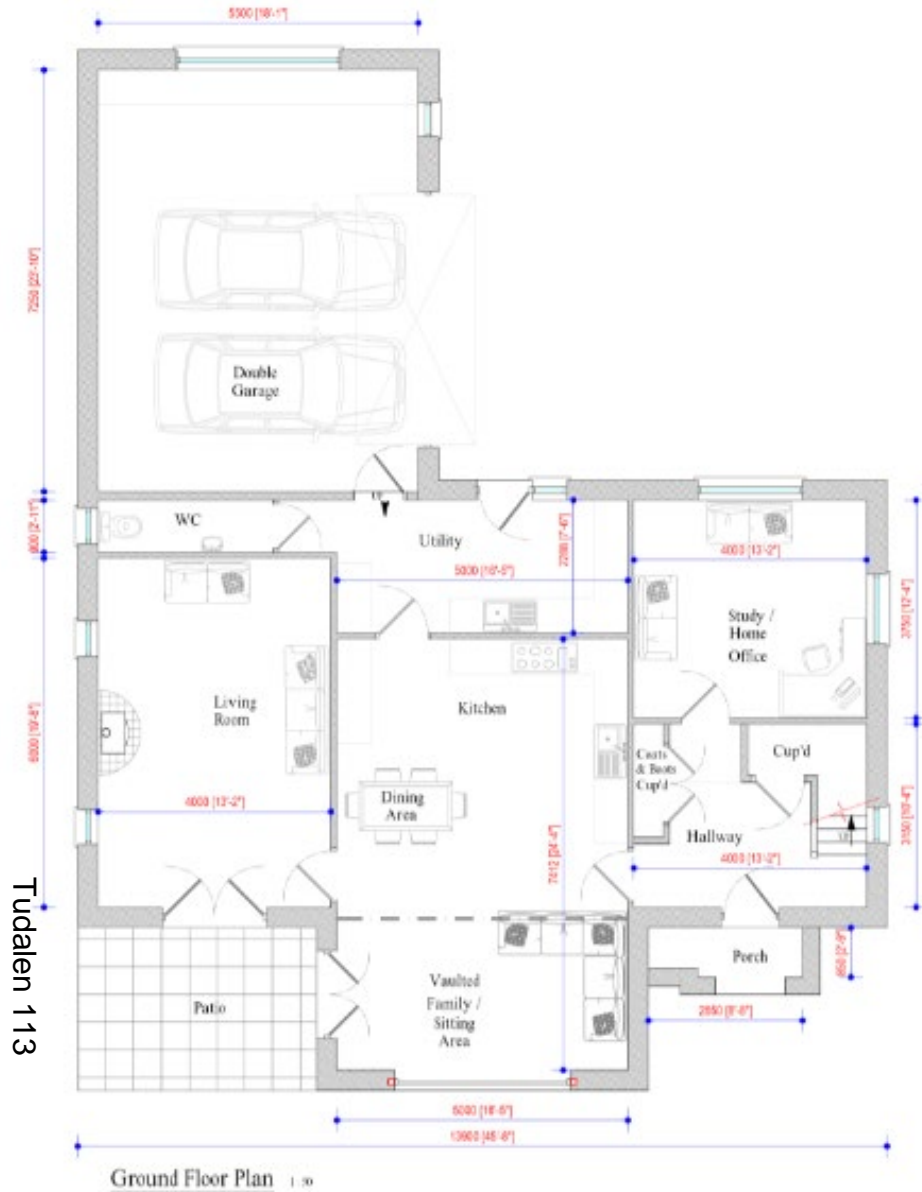


Rear Elevation 1:100



Side Elevation 1:100

PL/06972 – Floor plans



PL/06972 – Site Photographs



Tudalen 114

PL/06972 – Site Photographs



Tudalen 115



PL/06972 – Site Photographs



Tudalen 116

PL/06972 – Site Photographs



Tudalen 117

PL/06972 – Site Photographs



Tudalen 118

PL/06972 – Site Photographs



Tudalen 119

PL/06972 – Site Photographs



Tuairim 120

PL/06972 – Site Photographs





Diolch | Thank you

Tudalen 123

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Mae'r dudalen hon yn wag yn fwriadol